

AGENDA

City of Hapeville

3468 North Fulton Avenue

Hapeville, Georgia 30354

Design Review Committee

April 17, 2019

6:00 PM

1. Welcome And Introduction

2. Approval Of Minutes

2.I. Draft Minutes - January 16, 2019

Documents:

[DRC MINUTES JANUARY 16, 2019.PDF](#)

3. Jason Shubert 3121 Hope Street

Mr. Jason Shubert has submitted an application seeking approval of plans to expand the driveway for a single-family dwelling at 3121 Hope Street. The property is zoned R-1, One Family Detached.

Documents:

[3121 HOPE STREET APPLICATION.PDF](#)

4. Roger Fisher 3341 North Whitney Avenue

Mr. Roger Fisher has submitted an application seeking approval of plans to construct a 108-square foot outbuilding for a single-family dwelling at 3341 North Whitney Avenue. The property is zoned R-1, One Family Detached.

Documents:

[3341 NORTH WHITNEY AVENUE APPLICATION.PDF](#)

5. Ashok Avasthi 3168 Oakdale Road

Mr. Ashok Avasthi has submitted an application seeking approval of plans to remodel the exterior of the single-family dwelling at 3168 Oakdale Road. The property is zoned R-1, One Family Detached.

Documents:

[3168 OAKDALE ROAD APPLICATION.PDF](#)

6. Will Bryant 525 King Arnold Street

Mr. Will Bryant has submitted an application on behalf of Fulton County seeking approval of plans to construct a new 5,975-square foot library at 525 King Arnold Street. The property is zoned V, Village.

Documents:

[525 KING ARNOLD STREET APPLICATION.PDF](#)

7. New Business

8. Next Scheduled Meeting - Wednesday, January 16, 2019 At 6:00PM

9. Adjourn

Design Review Committee Meeting Minutes

January 16, 2019

I. Call to Order

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:00 PM on January 16, 2019 at Hapeville City Hall Conference Room.

II. Roll Call

Jonathan Love (Chairman) conducted a roll call. The following persons were present Brian Gregory, John Stalvey, Rick Ferrero, Lynn Patterson (non-voting), and Michael Smith (non-voting). Karl Dufrenne (1) absent.

III. Election of Officers

Rick Ferrero nominated Jonathan Love for chairmen. John Stalvey seconded the nomination. The members voted unanimously 4-0.

Rick Ferrero nominated Brian Gregory for secretary. John Stalvey seconded the nomination. The members voted unanimously 4-0.

IV. Approval of Meeting Minutes

Jonathan Love read the minutes from the December 19th meeting. John Stalvey made a motion to pass the minutes. Rick Ferrero seconded, and it passed 4-0.

V. Applications

a) 903 Margaret Street – Shannon Short attending

Jonathan made a motion to approve the application with the following requirements:

1. All 3-0, 3-0 fixed sash windows to be two vertical panes (no horizontal mutton);
2. On front elevation, second story bathroom shed dormer, remove the offset until flush and increase the width of the shed roof to match the right side second story.
3. Applicant to address issues as noted in the Planner's Report.

Design Exemptions:

4. Due to the house being constructed on grade, the entrance will not be between 2' and 4' above the grade.
5. The driveway width will exceed the maximum due to the lot orientation.

John Stalvey seconded the motion and it passed 4-0.

b) 3290 North Whitney Avenue – Sam Kirkland attending
Brian Gregory made a motion to approve the application with the following requirements:

1. Remove hand-rail on front-porch from drawing as it is at grade;
2. On front-porch, add sloped soffits on roof line as noted on drawing;
3. Applicant to address the concerns in the Planner's Report.

Jonathan Love seconded the motion and it passed 4-0.

VI. New Business

None

VII. Next Regularly Scheduled Meeting is February 20, 2019

VIII. Adjournment

Jonathan Love adjourned the meeting at 6:50 PM.

Meeting minutes submitted by: _____
Brian Gregory, Secretary

Meeting minutes approved by: _____
Jonathan Love, Chairman



PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: April 11, 2019
TO: Tonya Hutson
FROM: Lynn M. Patterson

RE: Design Review - 3121 Hope Street

Key:	
Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊖

BACKGROUND

The City of Hapeville has received a Design Review Application from Mr. Jason Shubert for an expansion to the driveway for a single family dwelling located at 3121 Hope Street. The Applicant desires to extend the existing driveway around the side of the dwelling in preparation for a future garage in the back yard. It will be constructed of concrete, replacing existing gravel. The new driveway will be 20.5' at its widest point and will require a design exception.

The property is within the R-1, One-Family Detached Zoning District and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(d) Parking and Traffic Standards

- ✗ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
 - Circular drives are permitted.
 - A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ✗ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

- ⊙ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊙ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT: **The proposed driveway will be 20.5' at its widest point, which will require a design exception.**
 Scope of construction does not include modifications to the existing carport.

RECOMMENDATIONS

The intent of the expanded driveway is to allow for the eventual construction of a garage in the back yard. The extra width is necessary to allow passage around the existing carport. The driveway is not 20.5' wide for its entirety, and is only 8.5' wide at either end. Staff recommendation is to approve the design exception.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: APR 02 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: JASON SHUBERT Contact Number: [REDACTED]
Applicants Address: 3121 HOPE ST HAPEVILLE GA 30354
E-Mail Address: [REDACTED] Zoning Classification: R-1
Address of Proposed Work: 3121 HOPE ST HAPEVILLE GA 30354
Parcel ID# (INFORMATION MUST BE PROVIDED): _____
Property Owner: Mary Eva King / JASON SHUBERT Contact Number: [REDACTED]
Project Description (including occupancy type): front driveway

Contractors Name: Southbound Custom Concrete Contact Number: [REDACTED]
Contact Person: RYAN HARRIS Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

4/2/19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☒ Other

Total Square Footage of proposed New Construction: 682

Total Square Footage of existing building: _____

Estimated Cost of Construction: \$ 5,000.00 xx

List/Describe Building Materials on the exterior of the **existing** structure: _____

ROCK

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

CONCRETE

NO REBAR

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

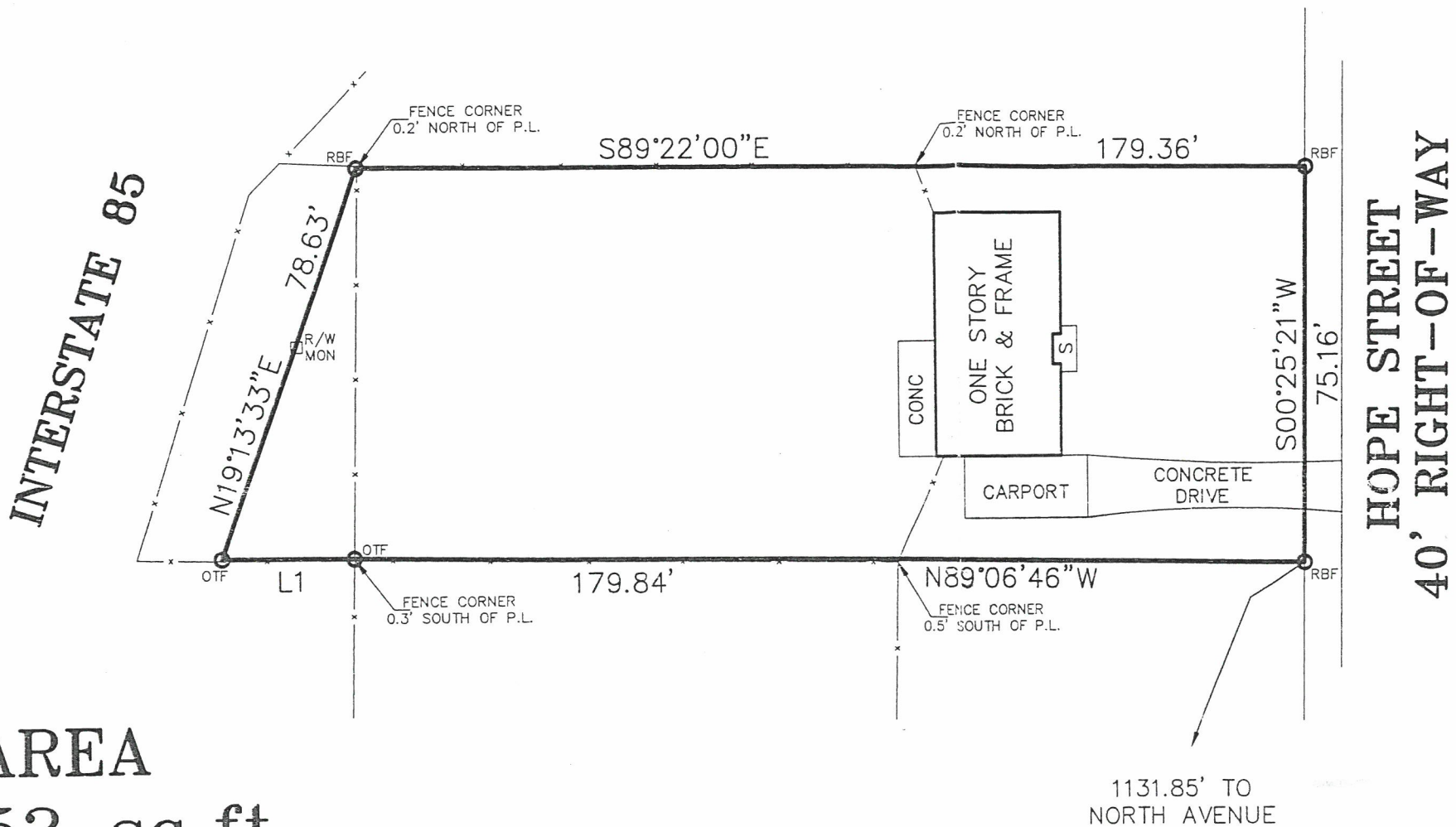
I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I JASON SHUBERT JS swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.

- LEGEND
- CMP CORRUGATED METAL PIPE
 - DE DRAINAGE EASEMENT
 - SSE SANITARY SEWER EASEMENT
 - BSL BUILDING SETBACK LINE
 - RBF REBAR FOUND
 - IPF IRON PIN FOUND
 - CB CATCH BASIN
 - JB JUNCTION BOX
 - HW HEAD WALL
 - POB POINT OF BEGINNING
 - MH MAN HOLE
 - R/W RIGHT-OF-WAY
 - PP POWER POLE
 - OT OPEN TOP
 - CT CRIMP TOP
 - RB REBAR
 - LL LAND LOT

LINE TABLE		
LINE	LENGTH	BEARING
L1	24.87	N89°44'12"W



THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000 FEET, AN ANGULAR ERROR OF 03 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

DATE	09-11-99
SCALE	1" = 30'
SECTION	FULTON COUNTY, GEORGIA
UNIT	AREA OF LOT:
BLOCK	
SUBDIVISION	
OWNER / PURCHASER	SCOTT BAKER
LAND LOT 99	14th DISTRICT
LOT	
SUBDIVISION	
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	
SOLAR LAND SURVEYING COMPANY	P.O. BOX 723993 ATLANTA, GEORGIA 31139-0993 TELEPHONE (770) 794-9055 FAX (770) 794-9052
JOB NUMBER:	9909397

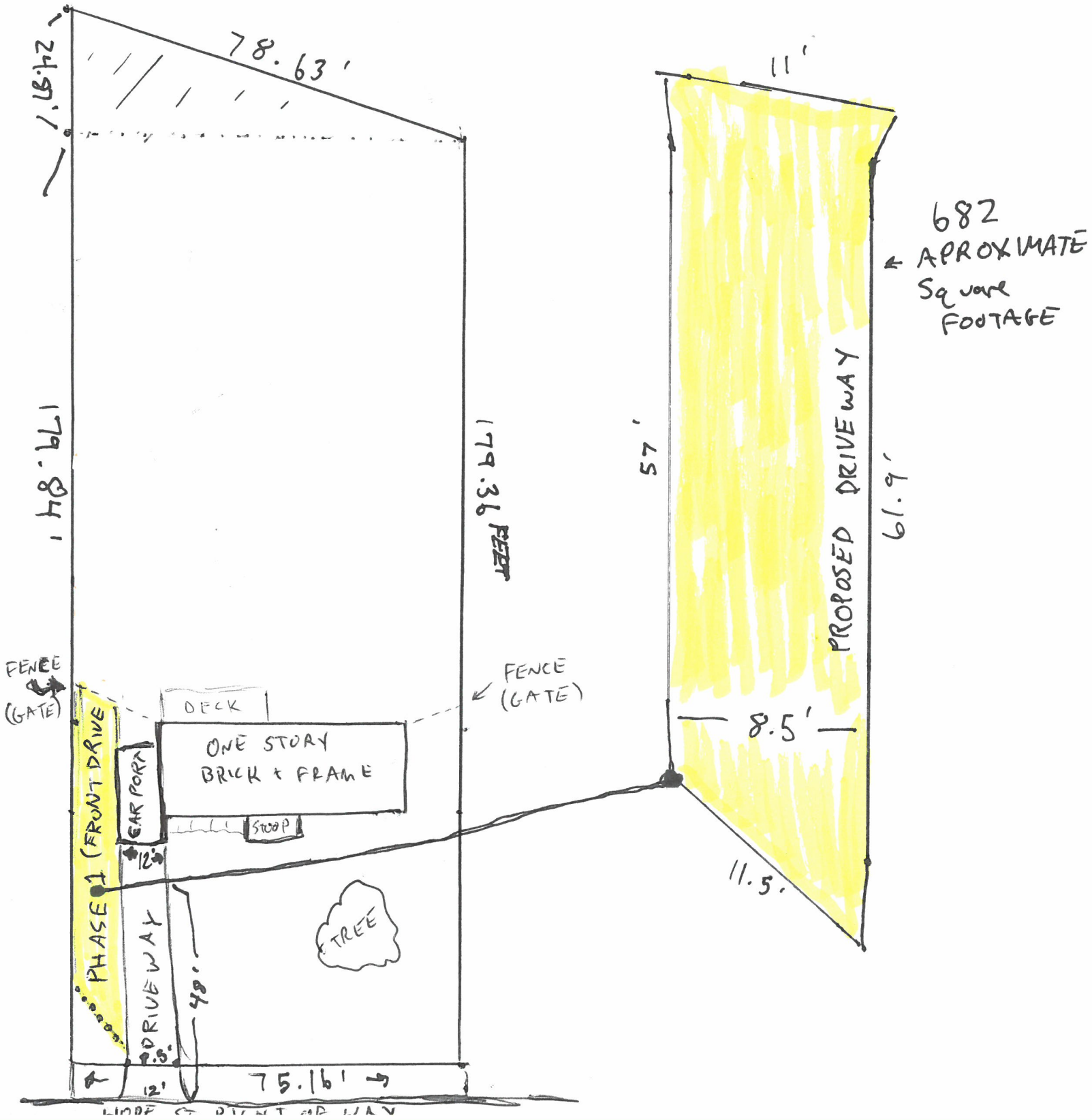
PLAT PREPARED FOR:

PLAT BOOK _____ PAGE _____

DEED BOOK 10641, PAGE 343

PLOTTED BY:

3121 HOPE ST
(FRONT) DRIVE WAY PROJECT (PHASE 1)











PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: April 9, 2019
TO: Tonya Hutson
FROM: Lynn M. Patterson
RE: Design Review - 3341 North Whitney Avenue

Key:
Compliant: ✓
Not Compliant: ✗
Incomplete: ✎
Not Applicable: ○

BACKGROUND

The City of Hapeville has received a Design Review Application from Mr. Roger Fisher for the construction of a new 108 square foot outbuilding for a single family dwelling located at 3341 North Whitney Avenue. The new outbuilding will include a low height deck.

The property is within the R-1, One-Family Detached Zoning District and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

- ✓ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- ✓ i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
○ ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
○ iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
✗ iv. Outbuildings shall be of compatible material and architectural style to the principal building.
✎ v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
✎ vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT: The metal standing seam roof is not compatible in material or architectural style with the principal building.
The Applicant should clarify the total height of the outbuilding from grade. Outbuildings must be at least 14' high.
The Applicant should clarify if there are any outbuildings on the adjacent lot within 10' of the proposed outbuilding.

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

The metal standing seam roof is not compatible in material or architectural style with the principal building.
The Applicant should clarify the total height of the outbuilding from grade. Outbuildings must be at least 14' high.
The Applicant should clarify if there are any outbuildings on the adjacent lot within 10' of the proposed outbuilding.

Once these items are addressed to the satisfaction of Staff and/ or the Design Review Committee, the application is recommended for approval.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 4/9/19

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ROGER FISHER Contact Number: [REDACTED]

Applicants Address: 54 SAWGRASS MANOR DR

E-Mail Address: [REDACTED] Zoning Classification: B-1

Address of Proposed Work: 3341 N. WHITNEY

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009800150122

Property Owner: MARCUS FELLINGHAM Contact Number: [REDACTED]

Project Description (including occupancy type): RELOCATION OF OUT BLDG

Contractors Name: Rekast LLC Contact Number: [REDACTED]

Contact Person: ROGER FISHER Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

4/9/19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☒ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 108

Total Square Footage of existing building: _____

Estimated Cost of Construction: \$8000

List/Describe Building Materials on the exterior of the **existing** structure: _____

METAL ROOF ACCENTS + FIBERGLASS ROOF SHINGLES
HARDIE (PAINTED) ~~XXXXXXXXXXXXXX~~
AND BRICK

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

METAL ROOF
HARDIE PLANK (PAINTED TO MATCH HOUSE)

NOTICE

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I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ROGER FISHER RAF swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

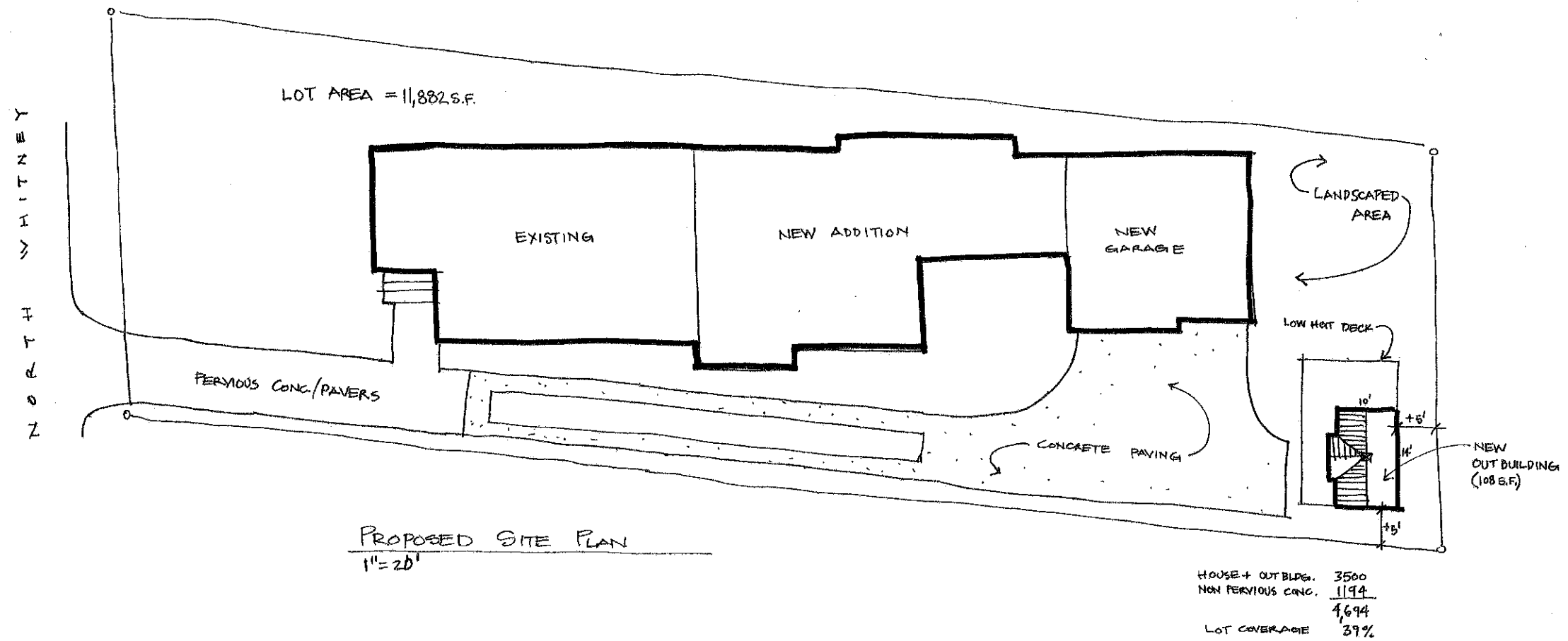
ROBERT FISHER
Printed Name

[Signature]
Signature

4/9/14
Date

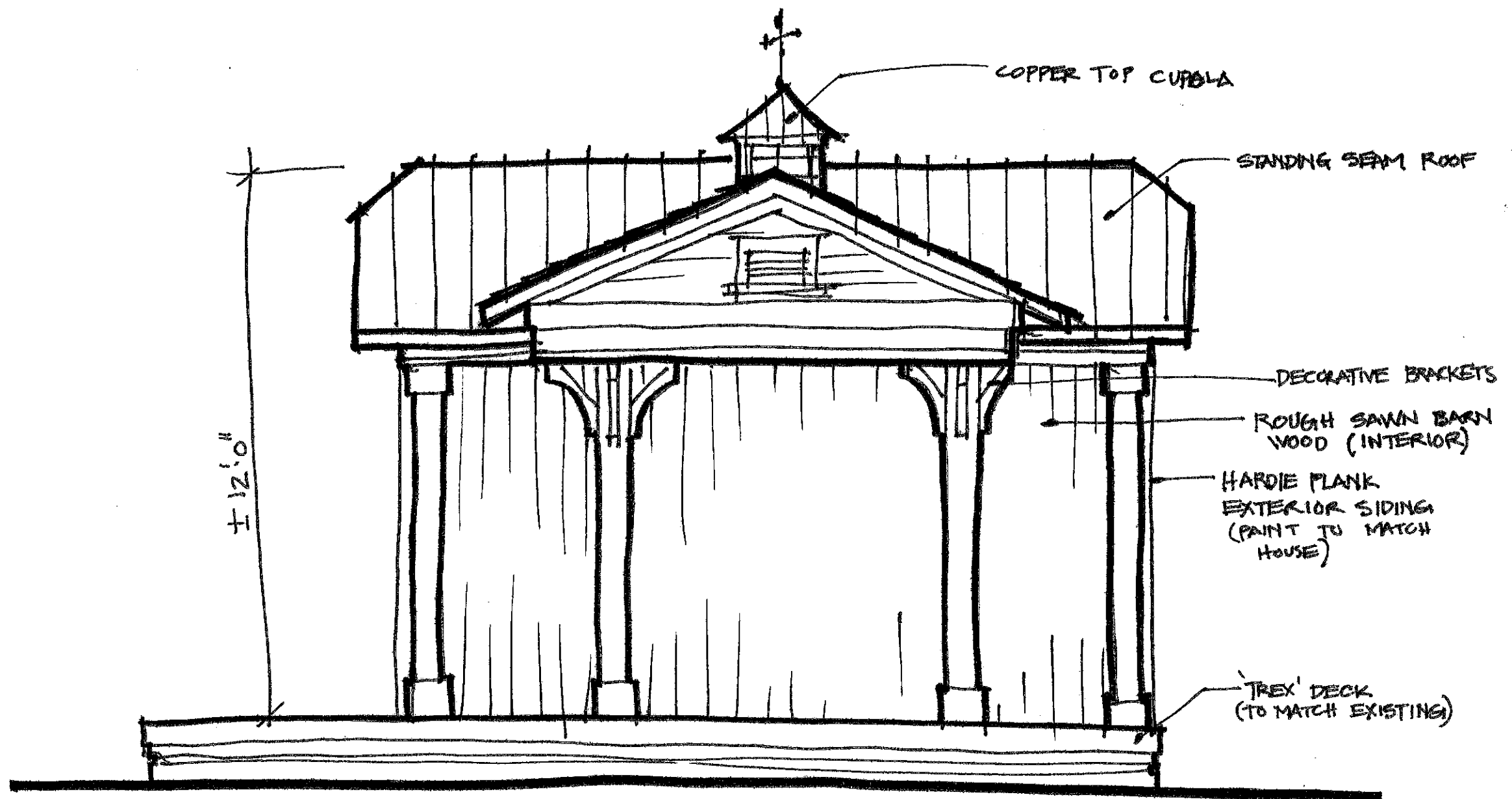
Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



rekast LLC

3341 N. WHITNEY AVE
HAPEVILLE, GA 30354



PROPOSED ELEVATION

$\frac{1}{4}" = 1'0"$



PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: April 9, 2019
TO: Tonya Hutson
FROM: Lynn M. Patterson

RE: Design Review - 3168 Oakdale Road

Key:
Compliant: ✓
Not Compliant: ✗
Incomplete: ✎
Not Applicable: ⊖

BACKGROUND

The City of Hapeville has received a Design Review Application from Mr. Ashok Avasthi for an exterior remodel of a single family dwelling located at 3168 Oakdale Road. The Applicant has already made several changes to the front facade. These include removing an existing gable over a window of the dwelling and constructed a new one over the front door integrating it into the design of the existing stoop, replacing several front facing windows, removing awnings and shutters from several windows, and adding trim to two of the windows.

The property is within the R-1, One-Family Detached Zoning District and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - ✓ Full-depth brick;
 - Natural or cast stone;
 - Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.

- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ⊗ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊗ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✋ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ✋ Stoops shall provide a minimum top landing of four feet by four feet.
- ✓ Stoop stairs and landings shall be of similar width.
- ✓ Stoops may be covered or uncovered.
- ⊗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊗ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊗ Front porch columns shall have foundation piers extending to grade.
- ⊗ All porches shall be covered.
- ⊗ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊗ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊗ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Balconies may be covered or uncovered.

STAFF COMMENT: **Dimensions of the existing stoop have not been provided.**
 Scope of construction does not include changes to the landing of the stoop.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊗ Doors that operate as sliders are prohibited along enfronting facades.
- ⊗ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✋ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ⊗ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊗ Where used, window shutters shall match one-half the width of the window opening.
- ⊗ Painted window or door glass is prohibited.
- ⊗ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.

- ⊙ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ⊙ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ⊙ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ⊙ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT: **Scope of construction does not include changes to the size or location of windows.**
 Type of window lighting should be provided to ensure there are no grids between glass used.

RECOMMENDATIONS

The Applicant should clarify if the window lights on the new windows are grids-between-glass, as GBGs are not permitted. Once this is addressed to the satisfaction of Staff and/or the Design Review Committee, the application is recommended for approval.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: MAR 20 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Ashok Arasthi Contact Number: [REDACTED]
Applicants Address: 3210 OAKDALE RD. HAPEVILLE GA 30236
E-Mail Address: [REDACTED] Zoning Classification: B-1
Address of Proposed Work: 3168 OAKDALE RD. HAPEVILLE GA 30354
Parcel ID# (INFORMATION MUST BE PROVIDED): 14009900030224
Property Owner: ASHOK ARASTHI Contact Number: [REDACTED]
Project Description (including occupancy type): Remove existing gable and relocate over front door. Front elevation modification.

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Ashok Arasthi
Applicants Signature

3/20/2019
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☒ Other

Total Square Footage of proposed New Construction: 75'

Total Square Footage of existing building: 75'

Estimated Cost of Construction: 500

List/Describe Building Materials on the exterior of the existing structure: WOOD

List/Describe Building Materials proposed for the exterior facade of the new structure: _____

WOOD + BRICK

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ASHOK AVASTHI ^{AK} swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

ASITOK AVASTHI Asitok Avasthi 3/20/2019
Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



A.K. Avasthi

> 3168 Oakdale Rd.

> Hapeville, Ga 30354

> Is my Property

> I live at 3210 Oakdale Rd.

> Officer Vanderpool is Harassing me. She wrote on my ticket race I what does that mean?. She started bombarding me with tickets one after other. The 1 ticket she gave me did not say anything about car port which was there for 27 years with Ms. Rawlins. The previous owner, On the back yard, which I own now. then a few days later she came by 2nd ticket she says that stop work on that car port, I'm just framing it around it in my backyard, I do not need the approval to cut the grass and move the tin structure around put some blocks I am improving the property. Another ticket she gave me about construction material in the back yard in my garden area, She has no right to come in my back yard, which is wood fenced. With some opening there. She is just Trespassing and snooping, In my yard and my neighbor's yard. This shed has been here last 10 years.

> I am a taxpayer for all 4 properties I own. Now it's just a request to see in to matter. Need help.

> I am a Vietnam veteran and 10 Year, resident of Hapeville, Ga, I am 72 years old. Trying to live peacefully as a decent upright citizen. Ms. Vanderpool has just started here and has no right to just harass people she does not look around and see what's happening around. See this filth all over the city, and across me. Photo inclose.

> My Son is also a resident for 12 years. We have residential and commercial Properties in Hapeville, I am working to Improve The Area. I have paint the whole House and new gutters. I have disposal Dumpster on my yard. I am working on my property with Hapeville Permit displaced on windows on all properties.

>

> Sent from my iPhone

Sent from my iPhone



This communication, any embedded communications from others and any attachments hereto are intended for the exclusive use of the intended recipient(s) and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not an intended



6' - 2 PONES
5" W X 6' PONES #2



PLANNER'S REPORT

DATE: April 11, 2019
 TO: Tonya Hutson
 FROM: Lynn Patterson
 RE: Design Review for 525 King Arnold Street

Key:
 Compliant ✓
 Not Compliant ✗
 Incomplete: ✎
 Not Applicable: ⊖

BACKGROUND

The City of Hapeville has received a design review application from Will Bryant for a tract of land located at 525 King Arnold Street. The property owner, Fulton County, desires to construct a new 5,975 SF library on the property, replacing an existing 5,675 square foot library on the site. The new library will be 22'-6" in height measured from the finished floor elevation to the highest point on the building. The library features an unconventional design outside of the scope of the Architectural Design Standards and will require several Design Exceptions.

The property is zoned V, Village, and would typically be subject to the Neighborhood Conservation Area Subarea E of the Architectural Design Standards. However, the nature of the project is more in line with commercial development and therefore the Commercial/Mixed Use Area standards shall be used for this report.

CODE

SEC. 81-1-6. COMMERCIAL/MIXED-USE AREA

(a) Site development standards.

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊖ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊖ On new buildings in subarea A, where the adjoining buildings were built before 1950, the main facade of the new structure shall align with the average existing building facade line of the two adjoining structures closest to the proposed setback. This will maintain the historic uniform setbacks of subarea A and place buildings close to the public right-of-way, thereby, encouraging pedestrian access.
- ✗ Except where a greater height is required by zoning, buildings shall provide a minimum height of 24 feet along the build-to line or front setback, including roof parapet walls. One-story buildings meeting this requirement are permitted.
- ✓ Except where a greater height is required by zoning, the first story finished floor to ceiling slab height shall be a minimum of 12 feet.
- ✓ Maximum building heights shall be established by zoning, except that buildings within 150 feet of a neighborhood conservation area and without an intervening street shall be limited to a maximum height of 35 feet, and shall meet the transitional height plane requirements.
- Space able to be occupied requirements shall be as follows:
 - ⊖ One-family attached and detached dwellings and two-family dwellings shall provide first-story occupiable space for a minimum of the first ten feet of depth along the enfronting facade.
 - ⊖ Reserved.
 - ✓ All other buildings, including parking decks, shall provide first-story occupiable space for a minimum of the first 20 feet of depth along the enfronting facade.
- ⊖ Individual front facades of one-family detached dwellings within 15 feet of the front lot line or build-to line shall have no more than two corners, excluding bay windows, porches or stoops.
- ⊖ Portions of enfronting facades containing first-story retail or restaurant uses shall be composed as a simple plane with jogs of less than ten feet.
- ⊖ Buildings along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall enfront for a minimum of 80 percent of the width of the front setback or build-to line. In no case shall a break in buildings along said streets exceed 30 feet in width. Enfronting facades along said streets shall also meet the requirement of subsection (g)11. for all uses.
- ✗ Sidewalks shall be located along all public and private streets. Sidewalks shall be of the widths indicated on the "Commercial/Mixed-use Area Sidewalk Table" and shall consist of two areas: a landscape area and a clear area.
 - ✗ The landscape area shall be adjacent to the curb and is intended for the placement of trees, street furniture (including utility poles, waste receptacles, fire hydrants, traffic signs and newspaper vending boxes), bus shelters, bicycle racks, public kiosks and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
 - ✗ The landscape area may be primarily paved adjacent to on-street parking and shall be landscaped in all other areas. Street trees shall be planted a maximum of 40 feet on center, spaced equal distance between streetlights, and in line with stripes of parallel parking spaces. All newly planted trees shall be a minimum caliper of two and one-half inches measured 12 inches above ground, shall be limbed up to a minimum height of seven feet and shall have a minimum mature height of 40 feet. Variations to this may be reviewed as approved by the city planning commission.

- x The clear area shall be the portion of the sidewalk reserved for pedestrian passage and unobstructed by permanent objects to a height of eight feet, including, but not limited to, steps and stoops, traffic-control boxes, and utility structures. The sidewalk clear area shall have a consistent cross-slope not exceeding two percent. No awning or canopy shall extend more than five feet over the clear area.
- ✓ Where property abuts a neighborhood conservation area without an intervening street, the sidewalk area within 20 feet of such shall taper when necessary to provide a smooth transition to the existing residential sidewalk. In the event that the abutting residential area has no existing sidewalk the sidewalk shall taper to a width of six feet, measured from the street curb, or as approved by the planning commission.

NOTES: The Applicant received a Variance on March 28, 2019 to accommodate a canopy extending 12'-2" into the front setback. The minimum height for a building in the commercial/mixed use area is 24'. The proposed building will be 22'-6", which is not compliant. Sidewalks in the Commercial/Mixed-Use Area must have 5' landscape areas and 6' clear zones. The new sidewalk is 20' wide including a paved landscape area and connected plaza, which is compliant. The existing sidewalk is an average of 5' wide and does not include a landscape area, which is not compliant. The landscape area must include street trees planted a maximum of forty feet on center.

(c) Supplemental area and fence standards.

- ✓ Supplemental areas in the commercial/mixed-use area shall limited to the treatments identified in Figure 3 and as otherwise identified in this section.
- ⊙ All first story enfronting commercial uses and all enfronting buildings on Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide the "storefront and awning treatment" identified in Figure 3, and subject to the following additional requirements:
 - The supplemental area shall be hardscaped.
 - Temporary or movable fences surrounding outdoor dining are permitted in the supplemental area.
- ⊙ Fences, walls or hedges having the same setback as the adjacent building, with provisions for pedestrian access, are encouraged where a parking lot or other un-built area fronts a required sidewalk.
- ✓ All enfronting buildings not along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide any of the treatments identified in Figure 3.
- ⊙ "Common yard, porch and fence, terrace or light court," or "forecourt" treatments identified in Figure 3, the supplemental area shall be landscaped and shall include a minimum of one tree every 50 feet of frontage. See list of allowed trees on in section 93-2-14.
- ⊙ For "porch and fence, terrace or light court, stoop-front," or "forecourt" treatments identified in Figure 3:
 - Fences in the supplemental area are permitted and shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
 - Retaining walls in the supplemental area are permitted and shall not exceed 32 inches in height unless required by topography.
- ⊙ All street-facing walls shall be faced with stone, full-depth brick, or smooth stucco.
- ⊙ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊙ Where a development adjoins the neighborhood conservation area, the development shall provide a physical barrier between the two to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential area. A smooth transition to the adjacent neighborhood conservation area shall be ensured by providing:
 - A minimum 20-foot landscaped buffer located within the development site along the boundary with the neighborhood conservation area. Said buffer shall be planted with a minimum of one tree per 40 linear feet. Shrubs, flowers or grasses shall also be provided and maintained to a minimum height of four feet to visually screen new development and provide an attractive boundary that encourages continued investment in adjacent residential zones.
 - A permanent opaque wall between six and eight feet in height and faced in wood, stacked stone, full-depth brick or hard-coat true stucco. Said wall may be located anywhere within the required landscaped buffer.
 - Where a public or private alley separates the development from a neighborhood conservation area the landscape buffer and permanent opaque wall shall be provided adjacent to the alley.

NOTES: The proposed structure most closely meets the "Storefront and Awning" classification. While the property does abut the Neighborhood Conservation Area, it is surrounded by compatible uses and does not require a permanent opaque wall to screen activities from the nearby park and civic buildings.

(d) Utility standards.

- ✓ Mechanical features shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable nonvegetative materials for screening shall include painted wood or those found in section 93-2-5. Said features are encouraged not to be located in the supplemental area.
- ✓ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ✓ Skylights are not permitted facing a public right-of-way.
- x Street lights shall be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development. This requirement does not apply to projects on lots with less than ten feet of frontage along a public right-of-way.

- ✓ Trees shall not be planted on top of storm drains.
- Service areas and dumpsters:
 - ✓ Shall be in the rear or side yard of the development; and
 - ✎ Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

NOTES: **The project must include pedestrian scale street lights.**
The Applicant should ensure that the service area screening will be 8' tall and compatible in material with the primary building.

(e) Parking and traffic standards.

- ✎ Two curb cuts serving two one-way driveways shall be counted as one curb cut.
- ✎ Public or private alleys or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
- ✎ New public streets shall not count as curb cuts.
- ✓ Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ✎ Circular drives are prohibited, with the exception of hotel and hospital uses.
- ✎ No curb cuts shall be permitted on North Central Avenue, South Central Avenue, Virginia Avenue or Atlanta Avenue when access can be provided from another street.
- Driveways shall have widths of:
 - ✎ *One-family attached dwellings.* A minimum of ten feet for a one-way and a maximum of 15 feet for two-way.
 - ✓ *All other uses.* A maximum of 12 feet for one-way and a maximum of 24 feet for two-way.
- ✎ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard and shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✎ Parking is prohibited in the supplemental area and between a building and the adjacent street. This shall not be interpreted as restricting on-street parking.
- ✓ A continuous off right-of-way landscape buffer with a minimum width of ten feet shall be provided between parking and the adjacent sidewalk. This requirement shall apply when existing sidewalks not meeting this requirement are repaired or replaced.
- ✎ Parking decks shall conceal automobiles from visibility and have the appearance of a horizontal storied building on all levels; parking structures must be faced in full-depth brick, stone, cast stone, or precast concrete faced in or having the appearance of brick or stone. Retail or restaurant fronted decks are encouraged.
- ✎ Underground parking is allowed when possible.
- ✎ Drive-through windows and all vehicular queuing, when permitted by zoning, shall be placed to the rear or side of the building facade, shall not be visible from any public right-of-way, and shall not be located within 25 feet of the back of the required sidewalk.
- ✎ Gasoline and service stations shall place all fuel dispensing, service canopies and service entry doors to the rear of the building and away from the public right-of-way. Said facilities and associated queuing shall not be visible from any adjacent street or located within 25 feet of the sidewalk.

NOTES:

(f) Roof and chimney standards.

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of 30 years, per manufacturer's warranty.
- ✎ Roof shingles shall be slate, cedar, or asphalt.
- ✎ Roof tiles shall be clay, terra cotta or concrete.
- ✓ Street-facing gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✎ Metal flashing, where utilized, shall be copper or factory-finished sheet metal and shall be of a color that blends with other building materials.
- ✎ Chimneys visible from a public right-of-way shall not be faced in wood or fiber cement siding and shall not be a metal or ceramic pipe. Chimneys shall be wrapped in a full-depth brick, stone or masonry finish material.
- ✎ Chimneys located on an exterior building wall shall begin at grade.
- ✓ Flat roofs shall be permitted.
- ✎ Buildings with sloped roofs not completely screened from the adjacent street by a parapet shall have a pitch between 4:12 and 12:12. Mansard roofs are prohibited. Pitched-roof materials are limited to roof shingles, natural slate, wood shake, factory-finished sheet metal, and terra cotta tile, unless determined to be historically appropriate by the planning and zoning manager.
- ✎ Roof-mounted lights and flagpoles are prohibited. Roof-mounted satellite dishes or telecommunication devices shall be screened from public view and shall blend with the background of the building as practical.
- ✎ In subarea A roof lines shall appear flat from the adjacent street and roof structures shall be vertically screened by a parapet wall.

NOTES:

(g) Facade and style standards.

- ✕ Exterior facade materials shall be limited as follows:
 - Subarea A.* Unpainted full-depth brick.
 - Subarea B.* Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
 - Subarea C.* See neighborhood conservation area.
 - Remaining commercial/mixed-use area.* Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
 - Split-face block.* In addition to the above materials, split-face block may be utilized on exterior facades, but only along a non-enfronting side or rear facade that is not visible from an adjacent street, public park, or plaza.
 - [Materials on enfronting facades.]* The materials utilized along an enfronting facade shall be provided for the first 20 feet in length along adjacent non-enfronting facades.
 - [Façade colors, materials.]* Facade colors and materials shall be limited to three per facade face.
- ⊖ Where allowed, the combined enfronting facade area covered with fiber-cement siding and/or natural-wood siding shall not exceed 20 percent of the total enfronting facade area, provided that:
 - Where a development includes only one building this requirement shall apply to said building.
 - Where a development includes two or more buildings this requirement shall apply to the sum of the total enfronting facade areas.
 - This may result in individual buildings containing front facades entirely of fiber cement siding and/or natural wood siding.
- ⊖ Where allowed, hard-coat stucco shall have a smooth finish. Furthermore, architectural details such as sills, trim, pediments, cornices, railings, door enframements, or similar details shall not be of stucco.

In subarea A exterior building colors shall be consistent with the existing historic characteristics of each individual building as a contributing resource from its significant period of design and style. If the building was designed to be of natural or unique brick pattern, it should be returned to this style. All mortar and brick repairs should match the material and hue. Earth hues are suggested for paint, when used on most facades of brick construction, however there may be exceptions. A palette should be established on a building-by-building basis, with a suggested complimentary hue trim color to the base color. It is highly suggested the complete building color palette be limited to three colors for field and trim selections. Two adjacent buildings may use the same color palette only if the field and trim colors are reversed on each of the buildings. No sandblasting or abrasive cleaning methods (including high-pressure washes) shall be used on facades. Final review of selected color, restoration procedures, fixtures, and applications shall be coordinated on a building-by-building analysis through individual design review of visual concepts. The DRC shall make these determinations based on these standards, taking in consideration the style of the building, the nature and marketing of the applying business, the Main Street guidelines, the secretary of the interior's guidelines for renovation, section 93-2-7 et seq. of the zoning ordinance, and the standards for historic preservation.
- ⊖ Facade materials shall be combined horizontally, with the heavier below the lighter.

Enfronting upper and lowers facades shall be differentiated. Potential ways to achieve this include windows, belt courses, cornice lines or similar architectural details. This is intended to prevent buildings in which individual floors cannot be identified from the building exterior; it should not be interpreted to limit architectural expression.
- ⊖ Blank, windowless walls are prohibited along enfronting facades, except where a building enfronts multiple streets. In the latter case, it was not historically uncommon for buildings (especially commercial or mixed-use ones) to orient towards the more intensely developed street. As such, along the first story of enfronting mixed-use and commercial facades this requirement may be waived by the building official along streets that are predominantly residential in character when:
 - The first 20 feet of said facade meets the above requirements, and
 - The area beyond the first 20 feet is treated with architectural detailing, such as pilasters, false windows, or similar features.
- ⊖ Enfronting upper-story windows are encouraged to be equally sized, vertically oriented, equally spaced and arranged in a grid pattern.
- ✓ Foundations shall be constructed as a distinct building element that contrast with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.
- ✓ Vending machines, video or other outdoor merchandise displays, mechanical/electrical games, amusement rides, telephones, ice machines, freestanding automated teller machines excluding automated teller machines attached to buildings or integrated into buildings by canopies, and shopping carts shall be placed within the structure of a building and shall be out of view from the public right-of-way.
- ✓ Safety pylons, bollards, and trash receptacles in the supplemental area or along an enfronting facade shall be permitted based upon design compatibility with the main facade and neighboring comparable facilities.

NOTES: A Design Exception is required for the use of painted aluminum for the façade and the use of more than three colors.

(h) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✓ First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental zone.
- ✕ Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.
- ✓ Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade.
- ⊖ Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.

- ✓ Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.
- ✓ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Painted window or door glass is prohibited.
- ✗ All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:
 - ✗ A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.
 - ✗ A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.
 - ✓ A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.
 - ✗ A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.
- ✗ A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.
- ✗ No linear distance of more than ten feet without intervening glass display windows or glass doors.
- ✗ First-story drop ceilings recessed a minimum of 18 inches from the display window opening.
- ✓ Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:
 - ✓ Awnings shall be at least five feet deep as measured from the building's front facade.
 - ⊙ Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.
 - ⊙ Valance width and height must align horizontally.
 - ⊙ Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.
 - ⊙ Valance on awnings should always be loose as valances should not be rigidly framed.
 - ⊙ Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by the DRC.
 - ⊙ Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.
 - ⊙ Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.
 - ⊙ Signs on awning must meet all requirements of the sign ordinance.

NOTES: **Building numbers next to the front entrance are required.**
 A Design Exception is required for relief from the "Storefront and Awning" treatment standards.

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

- The minimum height for a building in the commercial/mixed use area is 24'. The proposed building will be 22'-6", which is not compliant and will require a Design Exception.*
- The existing sidewalk is an average of 5' wide and does not include a landscape area, which is not compliant.*
- The landscape area must include street trees planted a maximum of forty feet on center.*
- The project must include pedestrian scale street lights.*
- The Applicant should ensure that the service area screening will be 8' tall and compatible in material with the primary building.*
- A Design Exception is required for the use of painted aluminum for the façade and the use of more than three colors.*
- Building numbers next to the front entrance are required.*
- A Design Exception is required for relief from the "Storefront and Awning" treatment standards.*

Once these items are addressed to the satisfaction of Staff and/ or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 2/1/2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Will Bryant Contact Number: 678 944 0419

Applicants Address: 434 Marietta St NW Atlanta GA

E-Mail Address: wbryant@mcmillanpardansmith.com Zoning Classification: V (Unlage

Address of Proposed Work: 525 King Arnold St.

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 0095 LL0701 / 14 0095 LL0131

Property Owner: Al Collins Contact Number: 404-730-1822

Project Description (including occupancy type): Construct a new library
by the Fulton County Library System. and demolish
existing structure

Contractors Name: Albron (Jason Strane) Contact Number: 678 325 5900

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Will Bryant
Applicants Signature

2/1/2019
Date

Project Class (check one):

☐ Residential

☒ Commercial
Library

☐ Mixed-Use Development

Project Type:

☒ New Commercial Construction

☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: 5,850

Total Square Footage of existing building: 5,675 to be removed/demolished

Estimated Cost of Construction: \$3,200,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Storefront, Wood Vertical Siding, Concrete, Steel. Painted.
This building to be demolished

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Grey Brick in a Stacked Pattern

Metal Panels with a silver, red, or white finish - see elevations

CUR Alum Storefront system with exterior vertical "butt joints"

Hollow metal painted doors

Cast in place concrete, ground-face concrete block @ site walls

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

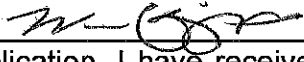
A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

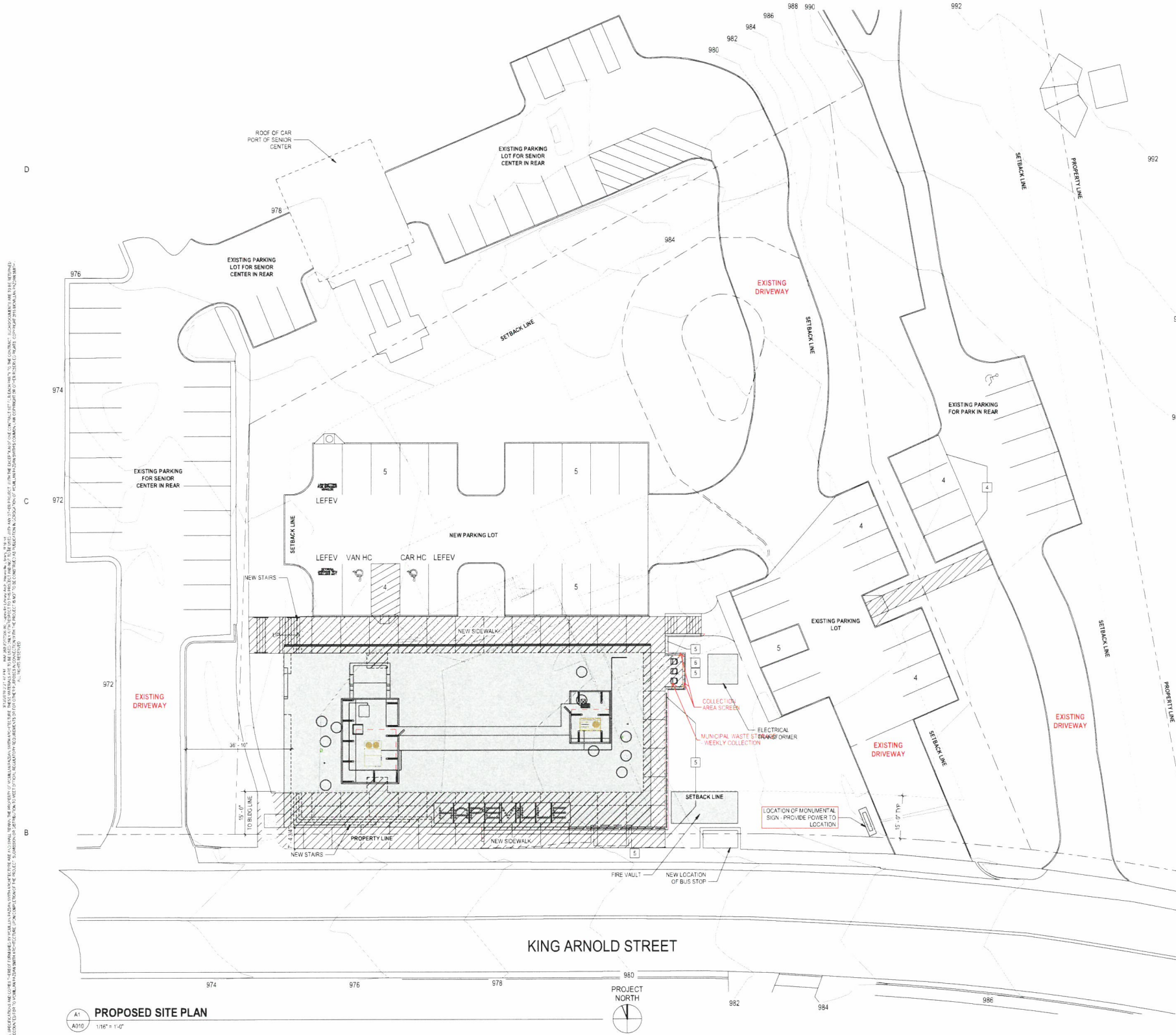
I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

<u>Will Bryant</u>	<u>[Signature]</u>	<u>2/1/2019</u>
Printed Name	Signature	Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



PROPOSED SITE PLAN
A1
A010 1/8" = 1'-0"

SHEET KEYNOTES

1. REMILL AND RESTRIPE EXISTING PARKING LOT
2. NEW PARKING LOT LIGHTING TO BE PROVIDED BY OWNER, POWER BY GC
3. NEW MONUMENTAL SIGN TO REPLACE EXISTING SIGN - BY OTHERS
4. NEW PARKING SPACES ADDED TO EXISTING PARKING LOT
5. NEW SITE WALL, STACKED CMU - REFERENCE LANDSCAPING DWGS
6. NEW ENCLOSURE AROUND WASTE RECEPTACLES - REFERENCE LANDSCAPING DWGS

SITE PLAN LEGEND

- EXISTING BUILDING TO BE REMOVED
- EXISTING SITE ELEMENTS TO BE REMOVED
- NEW BUILDING LOCATION
- NEW SIDEWALK, REFERENCE LANDSCAPE DWGS
- HC HANDICAPPED PARKING SPACE
- LEFEV LOW EMITTING FUEL EFFICIENT VEHICLE PREFERRED PARKING SPACE
- NEW RETAINING WALL

SITE PLAN NOTES

1. ARCHITECTURAL SITE PLAN FOR REFERENCE AND COORDINATION ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING, UTILITY, HARDSCAPE, TREE PROTECTION AND PLANTING INFORMATION.
2. PARKING LOT LIGHTING AND POLES TO BE PROVIDED BY GEORGIA POWER, UNO

PROJECT NAME: HAPEVILLE LIBRARY
OWNER: FULTON COUNTY LIBRARY SYSTEM
CONTRACTOR: ALBION
ARCHITECT: MCMILLAN PAZDAN SMITH

PROPOSED BUILDING HEIGHT: 22'-5" (EXISTING BUILDING TO BE REMOVED AND REPLACED BY PROPOSED BUILDING - SEE SITE PLAN)
PROPOSED BUILDING SIZE: 5975 SF

DATE DRAWN: FEBRUARY 2019

PARKING: +/- 11100 SF, INCL. PARK
NO. OF SPACES (42 TOTAL, 31 FOR LIBRARY USE ONLY)
EXISTING - 19, INCL. SPACES FOR PARK
PROPOSED - 23, INCL. SPACES FOR PARK
AREA OF PAVED PARKING SURFACE - 36682 SF

SIGNAGE:
MONUMENT SIGN DIMENSIONS (WxH):
BUILDING SIGN DIMENSIONS (WxH): 15'-0" W x 4'-0" H

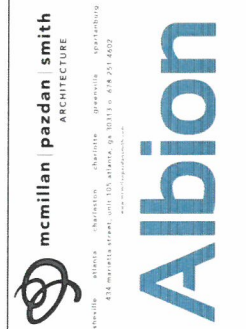
ELEVATIONS: REFERENCE SHEETS A300, A301; SEE KEYNOTES FOR BUILDING MATERIALS

SITE AREA: 19.02 ACRES (828511 SF)

ALLOCATION OF SITE AREA:
BUILDING COVERAGE - 5850 SF (0.7%)
PARKING AND DRIVEWAYS - 36682 SF (4.4%)
OPEN SPACE AREAS - 785979 SF (94%)
LANDSCAPING -- 38242 SF (4.6%)
RECREATIONAL PARK -- 747737 SF (90.3%)

BUILDING FLOOR AREA BY CATEGORY:
ADMINISTRATIVE - 653 SF
ASSEMBLY - 715 SF
CIRCULATION - 890 SF
READING AREA - 1004 SF
STACKS - 1432 SF
STORAGE - 341 SF

TOTAL FLOOR AREA RATIO: .007



FULTON COUNTY LIBRARY SYSTEM
HAPEVILLE LIBRARY
525 KING ARNOLD STREET
HAPEVILLE, GA

SHEET ISSUE		
NO	DATE	DESCRIPTION
1	9/21/2018	SCHEMATIC DESIGN
2	11/06/2018	DESIGN DEVELOPMENT
3	12/21/2018	50% CONSTRUCTION DOCUMENTS
4	02/23/2019	100% CONSTRUCTION DOCUMENTS

RELEASED FOR CONSTRUCTION

PRINCIPAL IN CHARGE: JA
PROJECT ARCHITECT: VB
DRAWN BY: AR

SHEET TITLE:
**ARCHITECTURAL
SITE PLAN**

SHEET NO.:
A010

PROJ. NO.:
017506.00

J: NAME: \\gsmc\l\h\1703047\dwg\c\engineering\04 PRODUCTION\CSDB SITE PLAN.dwg LAST SAVED BY: hanna 2/19/2019 12:21 PM PLOTTED BY: lisa\m\w\m\ 2/19/2019 PAPER: ARCH TBL BRED 0 (34.00 X 36.00 INCHES) DEVICE: DWS TO PAPER PLOT STYLE: ATWELL.ctb

CONTRACTOR TO REFER TO PLAN BY HGOR FOR ALL DETAILED SITE AND GRADING INFORMATION WITHIN LIMITS OF THE DASHED LINE. INFORMATION WITHIN LINE ON THIS PLAN IS SHOWN FOR REFERENCE ONLY.

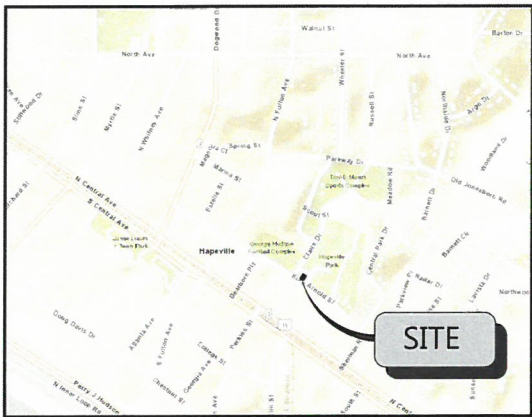
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CONTRACTOR TO REFER TO PLAN BY HGOR FOR ALL DETAILED SITE AND GRADING INFORMATION WITHIN LIMITS OF THE DASHED LINE. INFORMATION WITHIN LINE ON THIS PLAN IS SHOWN FOR REFERENCE ONLY.

TAPER CURB AND GUTTER TO MATCH EXISTING OVER 5'

PROPOSED LIBRARY
5,975 SF
FFE - 978.5

KING ARNOLD STREET



VICINITY MAP
NTS

SITE AREA	
TOTAL PROPERTY AREA:	19.02± AC (828511± S.F.)
DISTURBED AREA:	0.94± AC (40946.400000± S.F.)
IMPERVIOUS AREA:	0.67± AC (29185.200000± S.F.)
PERVIOUS AREA:	0.64± AC (27878.400000± S.F.)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF HAPEVILLE / FULTON COUNTY
ZONING:	V - VILLAGE
ADJACENT ZONING:	V - VILLAGE
BUILDING SETBACKS	
FRONT:	15'
SIDE:	15'
REAR:	15'
BUILDING SUMMARY	
PROPOSED BUILDING AREA:	5,975 SF
BUILDING AREA LIMIT:	35' / 2.5 STORIES
BUILDING HEIGHT LIMIT:	
PARKING SUMMARY	
PARKING REQUIREMENTS:	30 SPACES MIN.
PARKING PROVIDED:	31 SPACES (2 H.V.C., 1 VAN)
LANDSCAPING SUMMARY	
PARKING ISLANDS:	6 X 18 - 1 PER 10 SPACES
FRONT LANDSCAPE BUFFER:	-----
SIDE LANDSCAPE BUFFER:	-----
REAR LANDSCAPE BUFFER:	-----

- GENERAL SITE NOTES:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL NEW CURB AND GUTTER TO BE 24" CURB AND GUTTER UNLESS OTHERWISE SPECIFIED.
 3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 4. ALL TREES SHALL HAVE PROPER PROTECTION DURING CONSTRUCTION UNLESS APPROVED PLANS SPECIFY OTHERWISE.
 5. TOPOGRAPHIC SURVEY BY ATWELL, DATED 2/13/18.
 6. FLOODPLAIN IS NOT PRESENT ON SITE AS DEPICTED BY FEMA FIRM PANEL NUMBER 13121C0367E, DATED 9/18/13.
 7. OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING STORM DRAINAGE, UTILITY CONNECTIONS, SIDEWALK, CURB AND GUTTER AND PAVEMENT TIE-INS AND GRADING.
 8. ALL NEW ASPHALT AND/OR PAVEMENT SHALL MEET THE GEO TECHNICAL REPORT RECOMMENDATION, REPORT PREPARED BY OASIS CONSULTING SERVICES DATED JANUARY 22, 2019.

KEY NOTES	
①	24" CURB & GUTTER. SEE SHEET C-7.0 FOR DETAIL.
②	24" WHITE STOP BAR. SEE SHEET C-7.1 FOR DETAIL.
③	PROPOSED PERVIOUS PAVERS. SEE DETAIL SHEET C-7.3.
④	STANDARD DUTY ASPHALT. SEE SHEET C-7.0 FOR PAVEMENT SPECIFICATIONS.
⑤	CONCRETE SIDEWALK. REFER TO PLANS BY HGOR FOR SIDEWALK DETAILS.
⑥	ADA PARKING AREA SEE DETAIL SHEET C-7.0 FOR DETAIL.
⑦	ADA SIGNAGE. SEE DETAIL SHEET C-7.0 FOR DETAIL.
⑧	ADA CURB RAMP. REFER TO HGOR HARDSCAPE PLANS FOR ADDITIONAL DETAIL.
⑨	CONCRETE STAIRS WITH HANDRAIL. SEE ARCHITECTURAL PLANS FOR DETAILS.
⑩	STOP SIGN (R1-1). SEE DETAIL SHEET C-7.1.
⑪	LANDSCAPE AREA. SEE PLANS BY HGOR FOR ADDITIONAL DETAIL.
⑫	PROPOSED REFUSE CONTAINER AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
⑬	CONCRETE TRANSFORMER PAD PER UTILITY OWNER REQUIREMENTS.
⑭	PROPOSED RETAINING WALL. CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF WALL DESIGN PLANS (REFER TO ARCHITECTURAL DRAWINGS). REFER TO PLANS BY HGOR FOR FINISHED WALL ELEVATIONS.
⑮	PROPOSED PAVEMENT OVERLAY. CONTRACTOR TO RE-STRIPE PARKING AREA AND REMOVE ADA MARKINGS.
⑯	4" WHITE PARKING STRIPE.
⑰	EXISTING CONCRETE SIDEWALK TO REMAIN.
⑱	EXISTING BUS STOP TO BE RELOCATED TO LOCATION SHOWN ON PLAN.
⑲	LOW EMITTING FUEL VEHICLE STENCILING (REFER TO ARCHITECTURAL PLANS).

811

Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK OR PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

CONTRACTOR: 2019 ATWELL LLC
REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

24 HOUR
EMERGENCY CONTACT
JOE ALCOCK
678-251-4603

ATWELL

866.850.4200 www.atwell-group.com

1255 LAKES PKWY, BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043
866.850.4200

COA # PE 005804

LL95 14TH DISTRICT	KING ARNOLD STREET	CITY OF HAPEVILLE	FULTON COUNTY, GEORGIA
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MC MILLAN PAZDAN SMITH ARCHITECTURE	Hapeville Library	SITE DEVELOPMENT PLANS	SITE PLAN
-------------------------------------	-------------------	------------------------	-----------

DATE

2/19/19

REVISIONS

REGISTERED PROFESSIONAL ENGINEER

BRIAN E. KAY

GSWCC LEVEL II
CERT. NO. 0000021547

SCALE 1"=20'

DRAWN BY: TS

CHECKED BY: TS

PROJECT MANAGER: THEO STONE

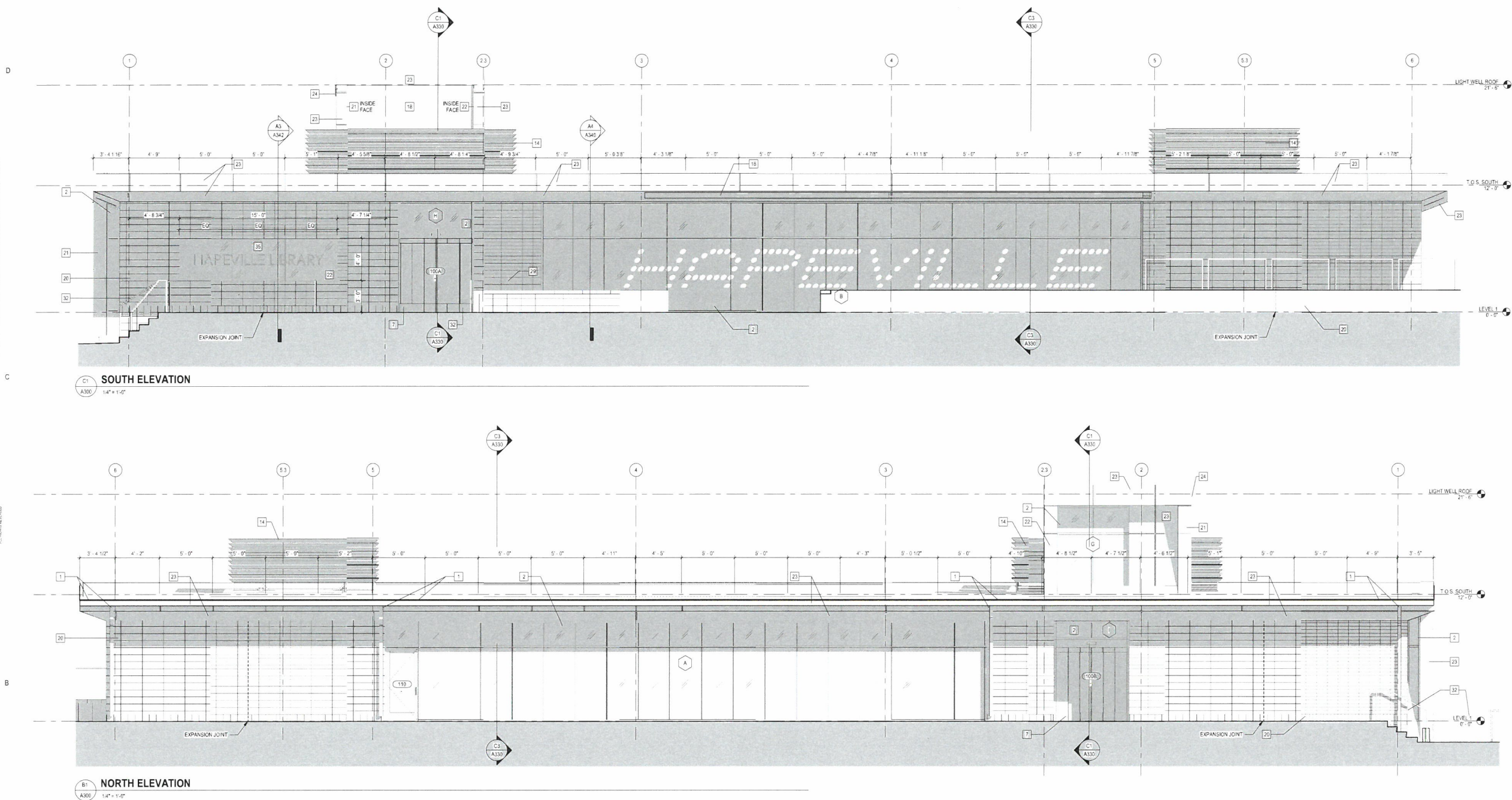
JOB #: 17003047

FILE CODE: FILE CODE

SHEET NO. C-3.0

BOTTOM RIGHT

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☐ SHEET KEYNOTES

1. 6" GUTTER WITH GUTTER GUARDS AND DOWNSPOUTS WITH FLUOROPOLYMER FINISH TO MATCH ACM
2. STOREFRONT SYSTEM W/ INSULATED GLAZING
3. INTERIOR WALL WITH 4" STOREFRONT SYSTEM RIBBON WINDOW. REFERENCE SHEET A320
4. INTERIOR STOREFRONT WALL SYSTEM. REFERENCE SHEET A320
5. DISPLAY FURNITURE
6. BOOK DROP TO BE INSTALLED @ 48" AFF MAX TO OPERABLE HEIGHT
7. MOTORIZED SLIDING DOOR
8. RED SECURITY GATE. REFERENCE TECHNOLOGY AND ELECTRICAL DWGS
9. ROOF LADDER
10. BOOK CARTS - BY OTHERS
11. DRINKING FOUNTAIN W/ BOTTLE FILLER - REFERENCE PLUMBING DWGS
12. AV DISPLAY - BY OTHERS. SEE TECHNOLOGY DRAWINGS
13. 3' 6" X 3' 6" ROOF HATCH
14. ARCHITECTURAL LOUVERS MECHANICAL SCREEN WITH STURDIEST CURB MOUNTED FRAMING AND GATE FOR ACCESS
15. MECHANICAL UNITS - REFERENCE MECHANICAL DWGS
16. 7' 6" X 5' 6" CNC ROUTED ALUM PANELS WITH 7" DIAMETER CIRCLES FORMING LETTERS TO SPELL 'HAPEVILLE'
17. WHITE TPO ROOF MEMBRANE
18. GREY TPO ROOF MEMBRANE - TO MATCH GREY ACM PANELS
19. EXPOSED PAINTED STRUCTURAL DECKING. 1/4" 1/2" SLOPE. REFERENCE STRUCTURAL DWGS
20. MEDIUM GREY UTILITY BRICK
21. RED ACM PANELS
22. WHITE ACM PANELS
23. METALLIC GREY ACM PANELS
24. 3-DIMENSIONAL BLDG SIGNAGE ON STAND-OFFS. REFERENCE WAYFINDING DWGS. COORDINATE REDD BLOCKING W/ SIGNAGE AND ACM MFRS
25. PAINTED HOLLOW MTL DOOR
26. ACCESS STEEL STRUCTURE
27. MILLWORK DISPLAY CABINET
28. MOTORIZED PROJECTION SCREEN. COORDINATE INSTALL OF SCREEN AND FINISHED CEILING
29. BAKE RACK. SEE LANDSCAPE DRAWINGS
30. LIGHT SCOPED ROOF
31. MECHANICAL UNIT. REFERENCE MECHANICAL DWGS
32. ALUMINUM HAND RAIL. REFERENCE LANDSCAPE DWGS
33. TPO TRAFFIC PAVING
34. GATE WITH LOCK TO MATCH PANELS
35. BACK PAINTED GLASS PANEL EDGE-LIT, ON STANDOFFS OVER ACM. REFERENCE WAYFINDING DWGS
36. SITE WALL. REFERENCE LANDSCAPING DWGS
37. 1/2" TYPICAL STAINLESS STEEL. RAMP. 150MM W x 1.1. BASE TO 1/2" & 1/2" NEAR MTPD KINK

EXTERIOR MATERIAL SCHEDULE

MATERIAL	BASIS OF DESIGN - MANUFACTURER, COLOR, STYLE
UTILITY BRICK	BOD - TAYLOR BRICK, 322 GRAY WIRE CUT DEDUCTIVE ALT. STAINED BRICK
SILVER ACM PANEL	BOD - ALUCOBOND, SILVER METALLIC
RED ACM PANEL	BOD - ALUCOBOND, RED FRIE
WHITE ACM PANEL	BOD - ALUCOBOND, ALABASTER
PAINTED STEEL	BOD - SHERWIN WILLIAMS, EXTRA WHITE, EGGSHELL (P-1)
STOREFRONT	BOD - KAWNEER 451 T.55G CLEAR ANODIZED
METAL CORNICE, GUTTERS, AND DOWNSPOUTS	BOD - TBD, TO MATCH SILVER ACM



FULTON COUNTY LIBRARY SYSTEM

HAPEVILLE LIBRARY

525 KING ARNOLD STREET
HAPEVILLE, GA

SHEET ISSUE		
NO.	DATE	DESCRIPTION
1	9/21/2018	SCHEMATIC DESIGN
2	11/06/2018	DESIGN DEVELOPMENT
3	12/21/2018	50% CONSTRUCTION DOCUMENTS
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RELEASED FOR CONSTRUCTION

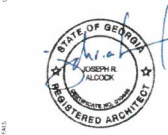
PRINCIPAL IN CHARGE: JJA
PROJECT ARCHITECT: WB
DRAWN BY: AR

SHEET TITLE:
BUILDING
ELEVATIONS

SHEET NO.: PROJ. NO.:
017558.00

A300

mcmillan pazdan smith
ARCHITECTURE



Albion

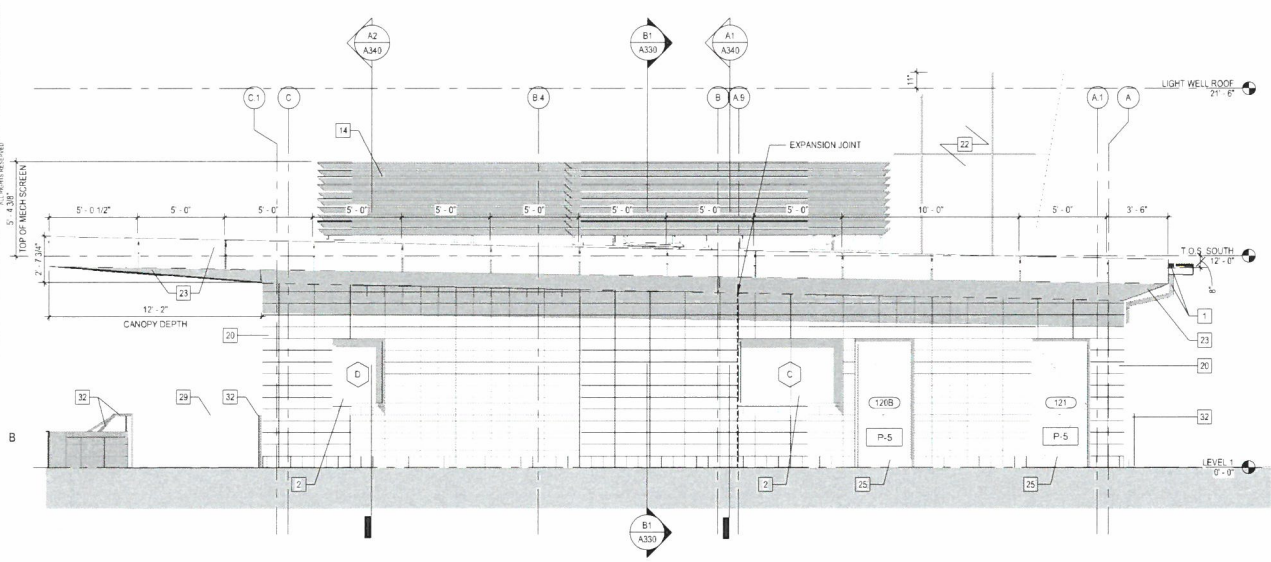
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D

C

B

EAST ELEVATION
1/4" = 1'-0"







①	UNDERGROUND POWER SERVICE. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR EXACT LOCATION AND CONTINUATION.
②	UNDERGROUND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR EXACT LOCATION AND CONTINUATION.
③	6" 6' TAPPING SLEEVE & GATE VALVE FOR 6" FIRE LINE. TAP INTO FIRE LINE WITH A 6"x1/2" TEE FOR 1.5' DOMESTIC AND IRRIGATION SERVICE. CONNECTION TO EXISTING MAIN PER CITY OF HAPEVILLE WATER.
④	6" FIRE SPRINKLER LINE
⑤	6" DOUBLE DETECTOR CHECK VALVE IN VAULT
⑥	POST INDICATOR VALVE
⑦	FIRE DEPARTMENT CONNECTION
⑧	1.5" DOMESTIC WATER LINE
⑨	1.5" METER AND BACKFLOW PREVENTION
⑩	1.5" IRRIGATION WATER LINE
⑪	1" IRRIGATION WATER AND BACKFLOW PREVENTION. CONTRACTOR TO DEAD HEAD LINE 3' BEYOND BFP FOR FUTURE CONNECTION.
⑫	6" FIRE HYDRANT ASSEMBLY, GATE VALVE AND 6"x6" TEE
⑬	6" SANITARY SEWER LATERAL WITH MINIMUM 1% SLOPE. INVERT 974.5
⑭	6" SANITARY CLEANOUT
⑮	TIE PROPOSED SANITARY SEWER LATERAL TO EXISTING CLEANOUT. CONTRACTOR TO VERIFY INVERT ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF FINDINGS.
⑯	REFER TO ARCH PLANS FOR ALL UTILITY ENTRY LOCATIONS AND INTERNAL CONNECTIONS.
⑰	CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE EXACT SIZE AND LOCATION WITH GEORGIA POWER.

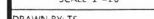
- 1) CONTRACTOR TO NOTIFY OWNER/DEVELOPER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS DIFFER FROM DESIGN ASSUMPTIONS.
- 2) LOCATION OF UNDERGROUND UTILITIES SHOWN IS BASED ON A SURVEY BY AT&T, DATED 2/13/84. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 3) MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES.
- 4) REFER TO ARCHITECTURAL PLANS FOR ON SITE UTILITY CONDUITS FOR SITE LIGHTING, ETC. AND UTILITY ENTRY AND EXIT LOCATIONS.
- 5) VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

=====	EXISTING PROPERTY LINE
=====	EXISTING RIGHT-OF-WAY
-----	PROPOSED RIGHT-OF-WAY
----- OHME -----	ELECTRIC OVERHEAD LINE
----- UGE -----	ELECTRIC UNDERGROUND LINE
----- SS -----	SEWER LINE
----- CHMT -----	TELEPHONE OVERHEAD LINE
----- UGT -----	TELEPHONE UNDERGROUND LINE
----- W -----	WATER LINE
Ⓢ	SANITARY SEWER MANHOLE
Ⓒ	SANITARY SEWER CLEAN OUT
Ⓕ	POST INDICATOR VALVE
Ⓙ	DOMESTIC WATER METER
Ⓛ	IRRIGATION WATER METER
Ⓢ	BACKFLOW PREVENTER
ⓁDC	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
Ⓕ	FIRE HYDRANT
ⒻDC	FIRE DEPARTMENT CONNECTION
Ⓕ	ELECTRICAL TRANSFORMER



REVISIONS:



CHECKED BY: JC

PROJECT MANAGER: TUEO STO

PROJECT MANAGER: THEO SIO
JOB #: 13683643

FILE CODE: FILE CODE

FILE CODE: FILE CODE

SHEET NO. C-5.0

LANDSCAPE DEVELOPMENT PLAN
FOR

HAPEVILLE
LIBRARY

HAPEVILLE, GA

PREPARED FOR:

FULTON PUBLIC LIBRARY
SYSTEM

HAPEVILLE, GA

03/01/19

DRAWING INDEX

- HS-1 NOTES AND ABBREVIATIONS
HS-2 HARDSCAPE IMPROVEMENT PLAN
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HS-5 HARDSCAPE DETAILS
LS-1 LANDSCAPE IMPROVEMENT PLAN
LS-2 LANDSCAPE DETAILS

SYMBOLS:

	EXISTING TREE LOCATION
	COORDINATE POINTS
	NORTHINGS / EASTING POINT
	PROPOSED TREE LOCATION
	HIGH POINT / LOW POINT
	LIGHT FIXTURE (POLE LIGHT)
	LIGHT FIXTURE (PATHWAY / BOLLARD LIGHT)
	AREA DRAIN
	AREA DRAIN REFERENCE NUMBER
	SUBSURFACE DECK DRAIN
	PROPERTY LINE / RIGHT-OF-WAY
	EASEMENT LINE
	DRAINAGE SHALE
	STORM DRAIN LINE
	SILT FENCE
	CENTERLINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF WORK
	MATCHLINE
	ELEVATION NUMBER
	SHEET NUMBER
	SECTION NUMBER
	SHEET NUMBER
	DETAIL NUMBER
	SHEET NUMBER
	DRAWING NUMBER
	SHEET NUMBER
	DIMENSION TO FACE OF MATERIAL OR CENTERLINE

MATERIALS LEGEND:

	TOPSOIL BACKFILL D-SOIL-PATT EARTH SCALE 4 1/4" COLOR 20
	UNDISTURBED SUBGRADE / COMPACTED SUBGRADE / SOIL D-SOIL-PATT EARTH SCALE 4 1/4" COLOR 20
	SAND / MORTAR D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	MULCH / ASPHALT BINDER COURSE D-SOIL-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	CAST-IN-PLACE CONCRETE D-CONC-PATT AIR-CONC SCALE 1 1/2" COLOR 20
	ARCHITECTURAL PRECAST CONCRETE D-CONC-PATT AIR-CONC SCALE 24 1/2" COLOR 20
	CONCRETE MASONRY UNIT D-CONC-PATT AIR-SAND SCALE 1 1/2" COLOR 20
	BRICK / ASPHALT SURFACE COURSE D-CONC-PATT AIR-SAND SCALE 2 1/2" COLOR 20
	BRASS / BRONZE / COPPER AIR-SAND SCALE 3 1/2" COLOR 20
	STEEL D-CONC-PATT AIR-SAND SCALE 3 1/2" COLOR 20
	PLYWOOD D-CONC-PATT AIR-SAND SCALE 8 1/2" COLOR 20
	SHIM D-CONC-PATT AIR-SAND SCALE 1 1/2" COLOR 20
	PEA GRAVEL D-SOIL-PATT AIR-SAND SCALE 1 1/2" COLOR 20
	EXCAVATED SOIL D-SOIL-PATT AIR-SAND SCALE 1 1/2" COLOR 20
	CULTIVATED SOIL / SOIL BACKFILL D-SOIL-PATT EARTH SCALE 15 1/4" COLOR 20
	PLANTING SOIL MIX D-SOIL-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	COMPACTED SUBBASE D-SOIL-PATT AIR-SAND SCALE 1 1/2" COLOR 20
	DRAINAGE GRAVEL D-SOIL-PATT AIR-SAND SCALE 3 1/2" COLOR 20
	TERRAZZO D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	STONE D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	SEALANT & JOINT FILLER D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	PREFORMED JOINT FILLER D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	ALUMINUM D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	FINISHED WOOD D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	ROUGH WOOD D-CONC-PATT AIR-SAND SCALE 25 1/2" COLOR 20
	SHARP SCREENINGS / CONCRETE SAND D-CONC-PATT AIR-SAND SCALE 1 1/2" COLOR 20
	PLASTIC D-CONC-PATT AIR-SAND SCALE 1 1/2" COLOR 20

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL EROSION CONTROL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION TO MAINTAIN STABLE AND SAFE EXCAVATIONS.
3. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCE INDICATED ON THE DRAWINGS PRIOR TO COMMENCING GRADING WORK. LEAVE PROTECTION IN PLACE AND MAINTAIN UNTIL CONSTRUCTION WORK HAS BEEN COMPLETED AND ALL DANGER OF DAMAGE HAS PASSED OR AS OTHERWISE DIRECTED BY THE OWNER.
4. GRADING AND CONSTRUCTION IN PROXIMITY OF EXISTING TREES INDICATED ON THE DRAWINGS TO REMAIN OR WITHIN TREE PROTECTION AREAS SHALL BE DONE WITH EXTREME CARE SO AS NOT TO DAMAGE THE ROOT SYSTEM OF TREES AND TO COMPACT SOIL IN THE AREA.
5. NO GRADING AND CONSTRUCTION IS TO OCCUR WITHIN A 10 FOOT RADIUS FROM ANY TREE TRUNK.
6. FINISH GRADING IN TREE PROTECTION AREA INDICATED ON THE DRAWINGS SHALL BE DONE UNDER DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THIS SITE VISIT.

GENERAL LAYOUT NOTES:

1. BASE TOPOGRAPHICAL AND EXISTING CONDITIONS TAKEN FROM DRAWING FURNISHED BY KIMLEY HORN AND ASSOCIATES, CIVIL ENGINEER.
2. DRAWINGS PREPARED FROM CIVIL AND ARCHITECTURAL DRAWINGS, NOT AS-BUILT DATA PREPARED BY TVS ARCHITECTS, AND PREPARED BY KIMLEY HORN AND ASSOCIATES, CIVIL ENGINEER.
3. DO NOT SCALE THESE DRAWINGS.
4. UTILITY WORK IS NOT INDICATED ON THIS DRAWING. REFER TO CIVIL DRAWINGS FOR WORK RELATED TO UTILITIES.
5. ALL CURVES TO BE TRUE RADI|| WITHOUT STRAIGHT SEGMENTS.
6. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
7. DIMENSIONS ARE FROM BACK OF CURB TO FACE OF WALL TO OUTSIDE EDGE OF PAVEMENTS; FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL.
8. CHANGES IN LAYOUT MAY BE MADE AT THIS TIME TO ACCOMMODATE DESIGN INTENT OR FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
9. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
10. NOTIFY THE OWNER OR LANDSCAPE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THE DRAWINGS.
11. ALL WALLS, COLUMNS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO SITE VISIT.
12. BENCH AND LITTER RECEPTACLE LAYOUT SHOWN IS APPROXIMATE. LAYOUT TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT.



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IMPROVEMENTS

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NOTE: ELECTRONIC FILES WILL BE PROVIDED
TO CONTRACTORS FOR USE IN FIELD LAYOUT



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ALL DRAWINGS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THE CLIENT'S USE OF THESE DRAWINGS FOR ANY OTHER PURPOSE IS AT THE CLIENT'S SOLE RISK. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THE CLIENT'S USE OF THESE DRAWINGS FOR ANY OTHER PURPOSE IS AT THE CLIENT'S SOLE RISK.

D
REMOVED-14" HARDWOOD
REMOVED-LANDMARK- 42" HARDWOOD
REMOVED-LANDMARK- 24" HARDWOOD
REMOVED-4" HARDWOOD

REMOVED- 10" CYPRESS
REMOVED- 12" HARDWOOD
LIMIT OF DISTURBANCE
TREE PROTECTION FENCE, TYP.

TREE LEGEND

- LANDMARK TREE TO REMAIN
- LANDMARK TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE TO BE REMOVED

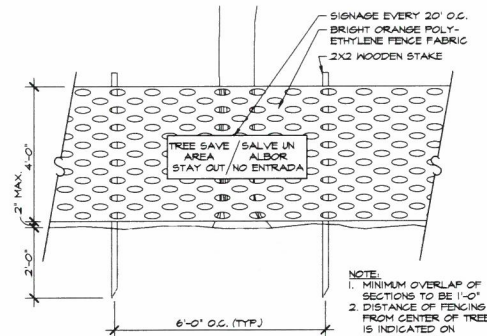
TREE CONSERVATION PLAN
SCALE: 1"=20'



NOTES:
THE CRZ OF SPECIMEN TREES PLUS ALL STREAM AND ZONING BUFFERS SHALL BE PROTECTED WITH WIRE-BACK TREE SAVE FENCING WITH METAL SUPPORT POSTS AND TREE SAVE SIGNAGE PRIOR TO LAND DISTURBANCE. INSTALLATION OF THE TREE SAVE FENCE WILL INVOLVE NO TRENCHING.
TREE SAVE FENCE FOR ENTIRE SITE MUST BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES. NO LAND DISTURBANCE OR DEMOLITION IS ALLOWED BEFORE TREE SAVE FENCING HAS BEEN INSPECTED AND APPROVED BY CITY ARBORIST.
PROVIDE A 4" LAYER OF AGED HARDWOOD MULCH OVER THE CRZ OF SPECIMEN TREES. MULCH MUST BE APPLIED PRIOR TO START OF CONSTRUCTION. MULCH SHALL NOT BE PLACED DIRECTLY AGAINST TREE TRUNKS.

NOTES:
A ONE-YEAR LANDSCAPE PERFORMANCE BOND IS REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
THE CITY ARBORIST MUST INSPECT THE SITE BEFORE INSTALLATION OF EROSION CONTROL MEASURES. LAND DISTURBANCE WITHOUT SITE INSPECTION AND APPROVAL BY THE CITY ARBORIST WILL RESULT IN A "STOP-WORK ORDER" AND FINES.
IF TREE SURVEY INACURAGIES ARE FOUND ON-SITE, A STOP WORK ORDER WILL BE ISSUED UNTIL REVISED PLANS ARE APPROVED AND PROCESSED FOR ACCURATE INFORMATION.
THE CITY ARBORIST MUST INSPECT AND APPROVE THE SITE BEFORE THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
A 2-4" LAYER OF MULCH WILL BE REQUIRED FOR ALL EXISTING NON-SPECIMEN LANDSCAPE TREES, INCLUDING STREET TREES AND PARKING LOT TREES. MULCH MUST BE APPLIED PRIOR TO START OF CONSTRUCTION. MULCH SHALL NO BE PLACED DIRECTLY AGAINST TREE TRUNKS.
ALL NEWLY PLANTED TREES SHALL HAVE VISIBLE ROOT FLARES AT FINISHED GRADE. NO CIRCLING ROOTS SHALL BE ALLOWED ON PLANTED TREES. THE UPPER TWO RINGS OF THE WIRE BASKET, BURLAP, AND STRAPPING SHALL BE CUT AND REMOVED PRIOR TO BACKFILL.
TREES LESS THAN THE CALIFER INCH SHOWN WILL NOT BE ACCEPTED, I.E. 3-INCH CALIFER TREES MUST BE 3 INCHES OR LARGER.
PLANT HEIGHT MEASUREMENT IS TAKEN AT THE TOP OF THE MAIN BODY OF THE PLANT AND NOT AT THE TIP OF THE TOPMOST GROWTH.
ALL NEWLY PLANTED TREES SHALL BE EQUIVALENT IN QUALITY TO A FLORIDA #1 GRADE OR BETTER. ALL TREES OF LESSER QUALITY SHALL BE REJECTED BY THE CITY ARBORIST.
WATERING BAGS OR A DRIP IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL TREES PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. DURING FIRST YEAR, BAGS WILL BE REFILLED WEEKLY BY THE OWNER AND REFILLED DURING DROUGHTS FOR A MINIMUM OF 2 YEARS AFTER INSTALLATION.
NO TRENCHING ALLOWED IN TREE SAVE AREAS - INCLUDING IRRIGATION.
ALL TREE TIES ARE OPTIONAL AND SHALL BE REMOVED FROM TREE ONE YEAR AFTER PLANTING.

NOTES:
THINNING IS ALLOWED AND MAY INCLUDE MANUAL REMOVAL OF NON-SPECIMEN TREES WITHIN THE CRITICAL ROOT ZONE OR DRIFLINE OF THE SPECIMEN TREE IN THE LANDSCAPE INSTALLATION PHASE DEVELOPMENT ONLY. THINNING INCLUDES MANUAL REMOVAL (NO MOTORIZED / WHEELED OR TRACK VEHICLES ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE SPECIMEN TREE).
A COMMERCIAL APPLICATOR LICENSE AND A PESTICIDE CONTRACTOR LICENSE ARE REQUIRED BY THE CONTRACTOR IF THE USE OF HERBICIDES ARE NECESSARY FOR NOXIOUS PLANT MATERIAL REMOVAL.
NON-VEGETATIVE MATERIAL TO BE REMOVED MANUALLY.
THINNING AND CLEARING OF ANY VEGETATIVE MATERIAL IN THE CRITICAL ROOT ZONE SHALL BE DONE IN THE LANDSCAPE INSTALLATION PHASE OF DEVELOPMENT.
TREE SAVE SIGNS SHALL BE EVERY 20 FT OR A MINIMUM OF 4 SIGNS PER SPECIMEN TREE.
TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.
STREET TREES TO BE A MINIMUM OF 3 INCHES CALIFER AT TIME OF PLANTING.
STREET TREES SHALL BE LOCATED NO CLOSER THAN 11 FEET FROM THE BACK OF CURB.
TOPPING TREES IS NOT ALLOWED. TREES REMOVED OR HAVING THEIR TOPS CUT AFTER COMPLIANCE WITH THIS ORDINANCE SHALL BE REPLACED WITH THE EQUIVALENT INCHES OF REMOVED TREES.
ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED WITH TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
DECIDUOUS TREES SHALL BE AT LEAST 2 INCHES IN DIAMETER AND EVERGREEN TREES SHALL BE AT LEAST 6 FEET IN HEIGHT AT TIME OF PLANTING.
ALL GRASSED AREAS WITHIN THE DEVELOPMENT SHALL BE SODDED.



TREE PROTECTION FENCE DETAIL
SCALE: 1/2"=1'-0"
NO. 1000 (REVISED)



ONLY FOR THE CITY OF GAITHERSBURG
HIGOR



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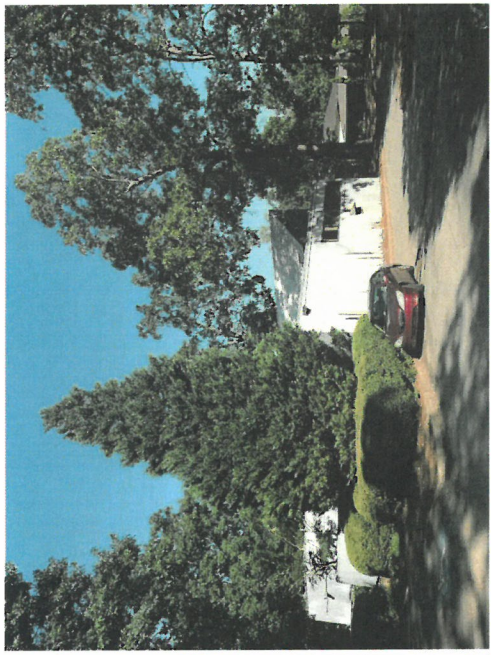
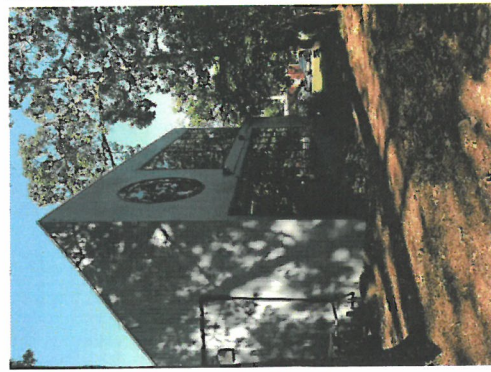
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SHEET TITLE
SITE TREE CONSERVATION PLAN

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GW-1

PHOTOS OF SITE AND EXISTING BUILDING TO BE DEMOLISHED



COLOR RENDERINGS

