

AGENDA

City of Hapeville

3468 North Fulton Avenue

Hapeville, Georgia 30354

Design Review Committee

July 17, 2019

6:00 PM

1. Welcome And Introduction
2. Design Review Committee Minutes June 19, 2019

Documents:

[DRC MINUTES JUNE 19, 2019.PDF](#)

3. Kevin Clark 282 Birch Street
Mr. Kevin Clark has submitted an application seeking approval of plans to remodel and add a 390-square foot addition to the existing single-family dwelling at 282 Birch Street. The property is zoned R-1, One Family Detached.

Documents:

[282 BIRCH STREET DRC APP.PDF](#)

4. Ashok Avasthi 3210 Oakdale Road
Mr. Ashok Avasthi has submitted an application seeking approval of plans for the addition of an upper-level sunroom to the existing single-family dwelling at 3210 Oakdale Road. The property is zoned R-1, One Family Detached.

Documents:

[3210 OAKDALE ROAD DRC APP.PDF](#)

5. Paula Smith 3365 Northside Drive
Ms. Paula Smith has submitted an application seeking approval of plans to construct a new 3,548-square foot single family dwelling with an attached garage at 3365 Northside Drive. The property is zoned R-0, One Family Residential.

Documents:

[3365 NORTHSIDE DRIVE DRC APP.PDF](#)

6. Miller Lowry Developments Village Walk At Hapeville

Miller Lowry Developments has submitted an application seeking approval of plans to construct a new project consisting of townhomes and commercial space situated between South Central Avenue, Colville Avenue and Willingham Drive. The property is zoned V, Village and is within the A-D, Arts District Overlay.

Documents:

[VILLAGE WALK HAPEVILLE DRC APP.PDF](#)

7. New Business

8. Next Scheduled Meeting - Wednesday, August 21, 2019 At 6:00PM

9. Adjourn

Please note that if the Design Review Committee approves the submitted application with condition (s), the applicant is responsible for making the necessary changes and resubmitting.

Agenda subject to change

Design Review Committee Meeting Minutes

June 19, 2019

I. Call to Order

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:04 PM on June 19, 2019 at Hapeville City Hall Conference Room.

II. Roll Call

Jonathan Love (Chairman) conducted a roll call. The following persons were present Brian Gregory, Karl Dufrenne, John Stalvey, Rick Ferrero, Lynn Patterson (non-voting), and Michael Smith (non-voting).

III. Approval of Meeting Minutes

Jonathan Love read the minutes from the May 15th meeting. Mr. Stalvey made a motion to pass the minutes. Mr. Dufrenne seconded, and it passed 4-0.

IV. Applications

- a) 3303 North Whitney Avenue - Brooke Fortenberry attending
Mr. Ferrero made a motion to approve the application with a design exemption for the installation of solar panels on a non-enfronting side of the dwelling.

Mr. Gregory seconded the motion and it passed 5-0

- b) 3341 North Whitney Avenue –Brooke Fortenberry attending
Mr. Gregory made a motion to approve the application with a design exemption for the installation of solar panels on a non-enfronting side of the dwelling.

Mr. Love seconded the motion and it passed 5-0

- c) 3377 LaVista Drive – Brooke Fortenberry attending
Mr. Gregory made a motion to approve the application with a design exemption for the installation of solar panels on an enfronting side of the dwelling, requiring that a low-profile, flush installation with non-contrasting background be used.

Mr. Stalvey seconded the motion and it passed 5-0

- d) 600 South Central Avenue – Gordon Cox attending
Mr. Gregory made a motion to approve the application with a design exemption for the installation of solar panels on a roof behind a parapet wall of the commercial dwelling.

Mr. Dufrenne seconded the motion and it passed 5-0

- e) 3365 Northside Drive – Paula Smith attending
Mr. Gregory made a motion to table the application until July 17th to address the requirements in the Planner's Report and provide updated plans.

Mr. Stalvey seconded the motion and it passed 5-0

- f) 831 Custer Street – applicant attending
Mr. Stalvey made a motion to approve the application with the following recommendations:
1. New first floor living room window to match the existing windows
 2. Add hardi-board to within 18-inches of the ground
 3. Parge foundation from hardi-board to ground ~18inches.
 4. Replace the stairs to the porch
 5. Add sidewalk to first floor entrance
 6. Enhance first floor entrance and provide updated drawings

A design exemption is granted for the conversion of the existing upstairs sunroom to a covered porch.

Mr. Ferrero seconded the motion and it passed 5-0

- g) Village Walk
Residential and Commercial applications tabled until July 17th meeting to address issues identified in the Planner's report.
- h) A.K. Avasthi Added
Mr. Love made a motion to add Mr. Avasthi to the agenda to discuss his home project. Mr. Gregory seconded the motion to add the item.
The DRC members advised Mr. Avasthi to provide scale drawings of his plans, especially with a side elevation of the entire project.

V. New Business

Text amendments on the following topics are being proposed to Mayor and Council

- Business Park Zoning amendment to allow for designs in kind with neighboring buildings for a given aesthetic, e.g. Porsche Headquarters and Kimpton Overland Hotel.
- Accessory dwelling units to be allowed on existing single-family properties
- Planning Commission concerns on sidewalks and infill construction.

VI. Next Regularly Scheduled Meeting is July 17, 2019

VII. Adjournment

Jonathan Love adjourned the meeting at 8:18 PM.

Minutes submitted by: _____
Brian Gregory, Secretary

Minutes approved by: _____
Jonathan Love, Chairman



PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: July 12, 2019
TO: Tonya Hutson
FROM: Lynn M. Patterson
RE: Design Review - 282 Birch Street Addition

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received design review application from Kevin Clark to remodel an existing one-story single-family dwelling at 282 Birch Street. The remodeling will include the rear addition of a new bedroom, bathroom, laundry room, and rear patio. In addition, the existing facades will be altered and the existing stoop will be replaced. The existing dwelling is approximately 1,224 SF plus the proposed addition of 390 SF totaling 1,614 SF. The renovated dwelling will have three bedrooms and two bathrooms.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✗ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ✎ Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
 - Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ⊘ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
- ✗ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone. Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone. The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

- STAFF COMMENT:**
- Existing dwelling is encroaching on 5' east side setback.
 - Existing sidewalk has no landscape area.
 - Dwelling and sidewalk are pre-existing. Scope of project does not include changes to the sidewalk or location of existing dwelling. New construction is compliant with setback requirements.
 - The Applicant should provide the height from grade of the dwelling and, if different, of the new addition.

(b) Supplemental Area and Fence Standards

- ✗ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊖ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊖ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ✓ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊖ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊖ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

- STAFF COMMENT:**
- Provided site plan does not include any trees, and the property does not appear to have any trees in the supplemental area.
 - Scope of project does not include changes to the supplemental area.

(c) Utility Standards

- Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
 - ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
 - ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
 - ⊖ Trees shall not be planted directly above storm drains.

- STAFF COMMENT:**
- The location of mechanical features and required screening are not provided on plans.
 - Scope of project does not include changes to utilities.
 - The Applicant should include a light at the front door.

(d) Parking and Traffic Standards

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
 - Circular drives are permitted.
 - A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ⊖ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.

- ⊗ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT: • **Scope of project does not include changes to off-street parking.**

(e) Roof and Chimney Standards

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✎ Roof shingles shall be slate, cedar, or asphalt.
- ⊗ Roof tiles shall be clay, terra cotta or concrete.
- ⊗ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✎ Gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ⊗ Roof forms shall be based on architectural style.
- ✎ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊗ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊗ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊗ Chimneys on exterior building walls shall begin at grade.
- ⊗ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- **The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.**
- **The Applicant should indicate the location and material of gutters and downspouts.**
- **The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.**

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11 .
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✎ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
 - Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.

- ✓ Porch and stoop foundations shall be enclosed.
- ✎ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊗ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✎ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ✎ Stoops shall provide a minimum top landing of four feet by four feet.
- ✓ Stoop stairs and landings shall be of similar width.
- ✓ Stoops may be covered or uncovered.
- ⊗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊗ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊗ Front porch columns shall have foundation piers extending to grade.
- ⊗ All porches shall be covered.
- ⊗ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊗ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊗ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Balconies may be covered or uncovered.

STAFF COMMENT:

- **Stoop materials and finish have not been provided. The Applicant should ensure the stoop is made of painted or stained wood, stone, brick, or ornamental metal.**
- **Dimensions of top and bottom members for stoop railings have not been provided. The Applicant should ensure the top and bottom horizontal members on railings meet the requirements described in sec. 81-1-7(f)10.**
 - *The height of the stoop landing from grade has not been provided, but appears to be level with the front door and similar to that of the existing stoop.*
- **The Applicant should provide the size of the stoop landing, ensuring it is at least 4' x 4'.**

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✗ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊗ Doors that operate as sliders are prohibited along enfronting facades.
- ✎ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✎ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✎ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ✗ Where used, window shutters shall match one-half the width of the window opening.
- ⊗ Painted window or door glass is prohibited.
- ⊗ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✎ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✎ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✎ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✎ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

- *The front entrance is not connected to the adjacent sidewalk via a pedestrian walkway separate from the driveway.*
- **Scope of project does not include changes to the supplemental area, including the addition of a pedestrian walkway.**
- **The Applicant should provide building numbers adjacent to the front entrance.**
- **Proposed window shutters do not appear to be equal to one-half the width of window openings, which is not compliant.**
- **If used, the Applicant should ensure window lights are not grids-between-glass.**
- **Necessary information for determining compliance with window standards provided in sec. 81-1-7(g) has not been provided.**

STAFF COMMENT:

The required information includes:

- o Window dimensions.
- o Window recession from façade.
- o Window trim material, size, and relief from façade.
- o Width of window mullions.
- o Windowsill material.

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ☞ **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ☞ **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊖ **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✗ **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades.
- ✗ **The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.**

Minimal traditional (Cape Cod). Minimal traditional homes shall include:

- ✗ i. ~~A~~ rectangular building footprint.
- ✓ ii. Gabled roofs having gables with a minimum pitch of 20 and a maximum pitch of 45 degrees from horizontal, with roof lines running parallel to the street.
- ✓ iii. Enclosed roof rafters where roofs overhang.
- ✓ iv. Varied, but primarily equal, height windows along a single floor.
- ✓ v. A symmetrical or asymmetrical front facade.
- ✓ vi. Windows that are taller than they are wide.
- ✓ vii. Covered stoops.
- ✓ viii. No front porch.

- *The plans do not indicate the height of the first floor from grade.*
- *The heights of new and existing windowsills above the finished first floor elevation have not been provided. New windows appear to be the same size and height as existing windows.*

STAFF COMMENT:

- **Scope of project does not include changes to building height above grade or of first floor window height above finished floor elevation.**
- **The current structure is closest to a Minimal Traditional (Cape Cod) house. The proposed addition will move the shape of the dwelling further away from the accepted standard for Minimal Traditional houses.**

Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- ✓ i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ⊖ ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- ⊖ iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- ☞ iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- ☞ v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- ✓ vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

- *No information on the size or style of the existing outbuilding have been provided.*
- **Scope of project does not include changes to the existing outbuilding.**

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

- 1) The Applicant should provide the height from grade of the dwelling and, if different, of the new addition.
- 2) The Applicant should include a light at the front door.
- 3) The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.
- 4) The Applicant should indicate the location and material of gutters and downspouts.
- 5) The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.
- 6) Stoop materials and finish have not been provided. The Applicant should ensure the stoop is made of painted or stained wood, stone, brick, or ornamental metal.
- 7) Dimensions of top and bottom members for stoop railings have not been provided. The Applicant should ensure the top and bottom horizontal members on railings meet the requirements described in sec. 81-1-7(f)10.
- 8) The Applicant should provide the size of the stoop landing, ensuring it is at least 4' x 4'.
- 9) The Applicant should provide building numbers adjacent to the front entrance.
- 10) Proposed window shutters do not appear to be equal to one-half the width of window openings, which is not compliant.
- 11) If used, the Applicant should ensure window lights are not grids-between-glass.
- 12) Necessary information for determining compliance with window standards provided in sec. 81-1-7(g) has not been provided. The required information includes:
 - a) Window dimensions.
 - b) Window recession from façade.
 - c) Window trim material, size, and relief from façade.
 - d) Width of window mullions.
 - e) Windowsill material.
- 13) Scope of project does not include changes to building height above grade or of first floor window height above finished floor elevation.
- 14) The current structure is closest to a Minimal Traditional (Cape Cod) house. The proposed addition will move the shape of the dwelling further away

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: JUN 11 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Kevin Clark Contact Number: [REDACTED]

Applicants Address: 1290 Shanter Trail Atlanta GA 30311

E-Mail Address: [REDACTED] Zoning Classification: B-1

Address of Proposed Work: 282 Birch Street Hapeville 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009400101624

Property Owner: Kevin Clark Contact Number: [REDACTED]

Project Description (including occupancy type): Additions: bedroom, bathroom, and laundry room.

Contractors Name: Gregory Wynn Contact Number: [REDACTED]

Contact Person: Kevin Clark Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Kevin Clark
Applicants Signature

5-21-19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 390

Total Square Footage of existing building: 1200

Estimated Cost of Construction: \$80,000

List/Describe Building Materials on the exterior of the existing structure: Siding
hardi-plank

List/Describe Building Materials proposed for the exterior facade of the new structure: Siding
hardi-plank

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I K. Chab swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Kevin Clark

Printed Name

Kevin Clark

Signature

5-21-19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.











ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.
NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.

THIS MAP/PLAT WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS MAP/PLAT IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.

BUILDING LINES SHOWN HEREON DERIVED FROM VARIOUS ONLINE SOURCES. THEY MAY BE IN CONTENTION WITH OR DIFFER FROM INTERPRETATIONS OF GOVERNING AUTHORITIES.

PORTIONS OF THIS PLAN ARE SCHEMATIC IN NATURE AND HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEYING METHODS. NO RELIANCE UPON THE ACCURACIES OF THE SIZE, SHAPE NOR LOCATION OF THE PLANIMETRICS SHOWN HEREON SHALL BE AFORDED IN ANY MANNER.

NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.



* L E G E N D *

- NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
AKA ALSO KNOWN AS
APD AS PER DEED
APP AS PER PLAT
BSL BUILDING (SETBACK) LINE
CP COMPUTED POINT
CTP CRIMP TOP PIPE FOUND
D DEED (BOOK/PAGE)
DW DRIVEWAY
EP EDGE OF PAVEMENT
FFE FINISH FLOOR ELEVATION
FKA FORMERLY KNOWN AS
HWD HARDWOOD TREE
IPF IRON PIN FOUND
L ARC LENGTH
LL LAND LOT
LLL LAND LOT LINE
N NEIGHBOR'S
N/F NOW OR FORMERLY
NAIL NAIL FOUND
P PLAT (BOOK/PAGE)
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
R RADIUS LENGTH
R/W RIGHT-OF-WAY
RBF REINFORCING BAR FOUND
RBS 1/2" REINFORCING BAR SET
SW SIDEWALK
SSCO SANITARY SEWER CLEANOUT
SSE SANITARY SEWER EASEMENT
-X- FENCE LINE
█ WALL

PROPERTY ADDRESS:
282 Birch St
Atlanta, GA 30354

LAND AREA:
9550 SF
0.219 AC

IMPERVIOUS AREA:
EXIST= 2865 SF=30.0%

ZONING: R-1

0 20
SCALE 1" = 20'

PLAT PREPARED FOR:

282 Birch St

LOT 8	BLOCK G	SUBDIVISION MORELAND PARK	BY:
LAND LOT 94	14th DISTRICT	FIELD DATE: 5-22-2019	NS
FULTON COUNTY, GEORGIA		DRAWN DATE: 5-24-2019	SS
LOCATED IN HAPEVILLE		ALL MATTERS OF TITLE ARE EXCEPTED ~ NOT FOR RECORDING	
REFERENCE: PLAT BOOK	PAGE		
REFERENCE: DEED BOOK	55539, PAGE 192		

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 40,000 FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.



SURVEY SYSTEMS ATLANTA
2156 W Park Ct, Ste D, Stone Mtn, GA 30087
COA #LSF000867, info@SurveySystemsAtlanta.com
Cell 678-591-6064 ~ Office 404-760-0010

Section V - Erosion Control City of Atlanta

1. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbing activities.
2. Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
3. Disturbed areas left idle 14 days shall be stabilized with temporary vegetation and mulch; disturbed areas remaining idle 30 days shall be stabilized with permanent vegetation.
4. Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
5. additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection
6. Silt fence shall be "Type S: as per the Manual for Erosion and Sediment Control in Georgia and be wire reinforced (see attached detail).



NO GRADED SLOPE
SHALL EXCEED 2H:1V

RE-USE EXISTING
UTILITIES

NO CUT, NO FILL

NO TREES REMOVED
PROTECT ALL TREES

NO UTILITY WORK
PROPOSED

CUT-OFF & CAP ALL
UTILITIES FOR FUTURE USE

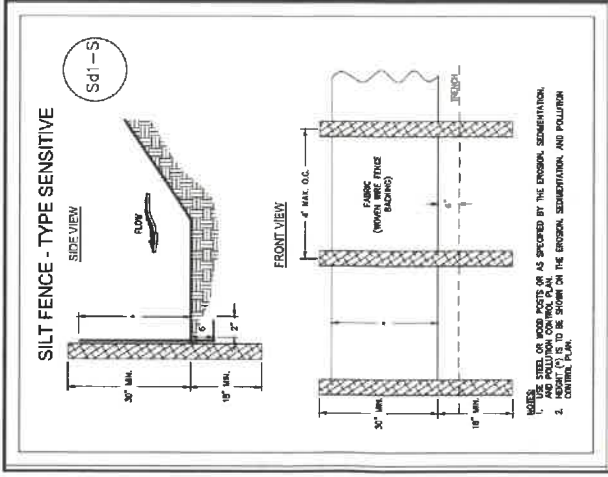
EXCAVATED MATERIALS TO BE
REDISTRIBUTED ON LOT

USE EXIST DW AS
CONSTRUCTION OUTLET

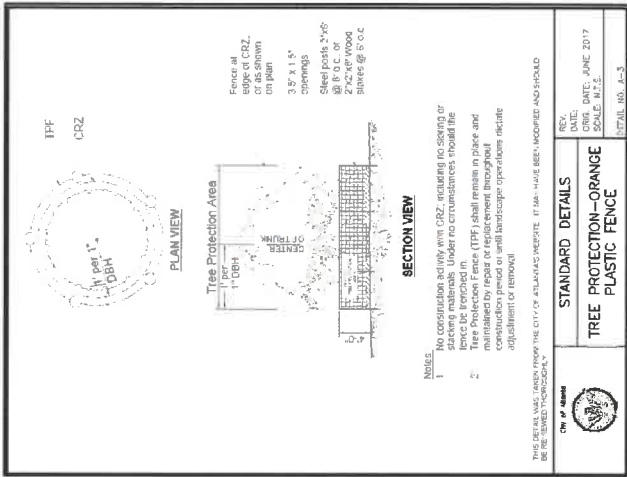
EROSION CONTROL LEGEND AREAS
APPLY TO ALL DISTURBED AREAS

DS1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
DS2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
DS3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS
DS4	DISTURBED AREA STABILIZATION (WITH SODDING)
Du	CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON LAND DISTURBING ACTIVITIES

Sd1-S INDICATES SILT FENCE



TPF INDICATES TREE PROTECTION FENCE



PROPERTY ADDRESS:
282 Birch St
Atlanta, GA 30354

LAND AREA:
9550 SF = 0.219 AC

IMPERVIOUS AREA:
DW:

SW: 88 SF

HOUSE: 1174 SF

FLUME: 70 SF

SHED: 345 SF

998 SF

EXIST= 2675 SF=28.0%

PROPOSED:

PATIO: 119 SF

ADDITION: 230 SF

PROP= 3024 SF=31.6%

ZONING: R-1

0 20
SCALE 1" = 20'

SITE PLAN PREPARED FOR:

282 Birch St

LOT 8 BLOCK G SUBDIVISION MORELAND PARK

LAND LOT 94	14th DISTRICT	BY:
FULTON COUNTY, GEORGIA	FIELD DATE: 5-22-2019	NS
LOCATED IN HAPEVILLE	DRAWN DATE: 5-24-2019	SS
REFERENCE: PLAT BOOK	PAGE	ALL MATTERS OF TITLE ARE
REFERENCE: DEED BOOK	55539, PAGE 192	EXCEPTED ~ NOT FOR RECORDING

SURVEY SYSTEMS & ASSOC., INC. ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ERRORS OR OMISSIONS ON DEMO OR SITE PLANS. IT IS THE CLIENT'S RESPONSIBILITY TO REVIEW PLANS FOR COMPLETENESS AND ACCURACY. ANY REDLINES, COMMENTS, CORRECTIONS, ALTERATIONS, ETC. (FROM ANYONE EXCEPT THE CLIENT) SHALL BE DEEMED AS BILLABLE AND ADDITIONAL CHARGES SHALL APPLY.

REVISIONS:

24 HR CONTACT:

Alexis Chapin
770.853.8488
alexisnicolechapin@gmail.com

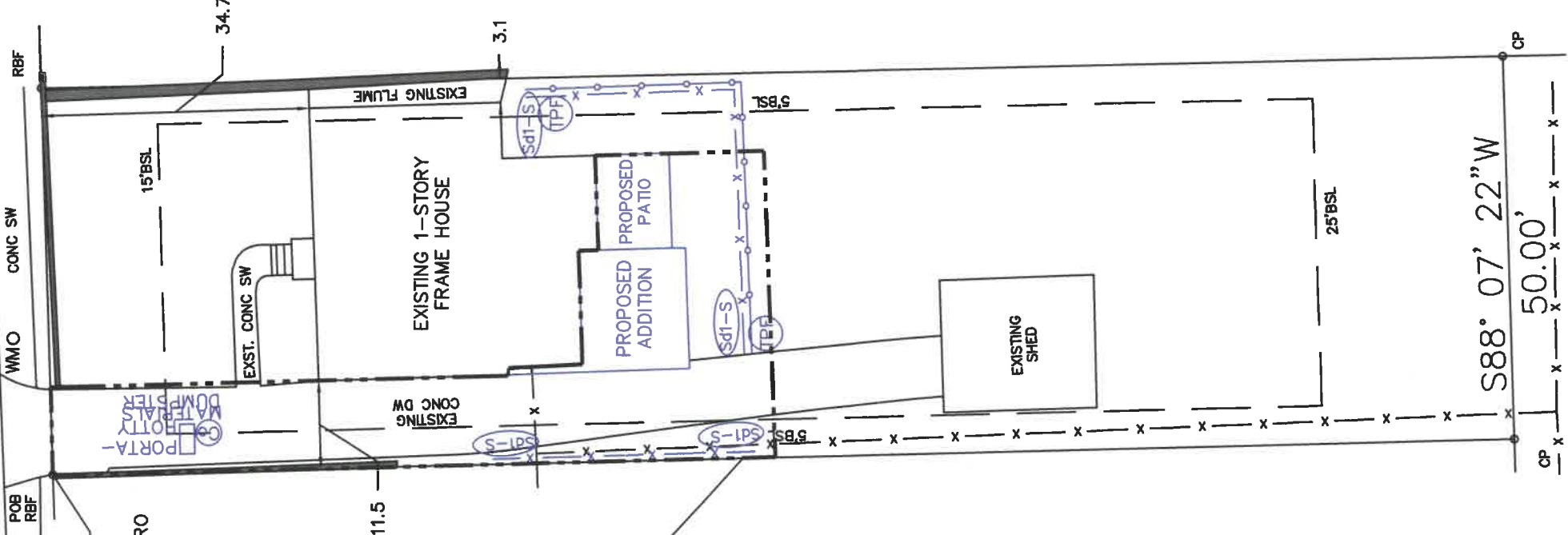


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COA #SF000867, info@SurveySystemsAtlanta.com
Cell 678-591-6064 ~ Office 404-760-0010

BIRCH STREET ~ 40' R/W
27'± BC/BC

N88° 07' 38"E

50.53'



GENERAL NOTES:

- BUILDER TO VERIFY ALL PERTINENT INFORMATION REGARDING DIMENSIONS, CONSTRUCTIONS MAT'LS, METHODS, AND STRUCTURAL SIZING
- SIZE AND LOCATION OF RETAINING WALL(S) ARE TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- NUMBER OF TREADS AND RISERS AT ALL EXTERIOR STAIRS TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- ALL DIMENSIONS ARE TO STUD
- ALL ANGLED WALLS ARE TO BE 45° UNLESSSED NOTED OTHERWISE

SCOPE OF WORK

- REMODEL EXISTING 1,22SQ.FT. STRUCTURE BY ADDING AN ADDITIONAL 390 SQ.FT. TO CREATE A THREE BEDROOM TWO BATH HOME



SMITH REMODEL

282 BIRCH ST.
Atlanta, Ga. 30354

- International Building Code, 2012 Edition, with Georgia Amendments (2014X2015)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014X2015)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014X2015)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2015)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014X2015)
- National Electrical Code, 2014 Edition, with no Georgia Amendments
- International Energy Code, 2009 Edition, with Georgia Supplements and Amendments (2011X2012)
- 2012 NFPA 101 - Life Safety Code with State Amendments (2013)

RELEASED FOR CONSTRUCTION

DRAWING INDEX

A-0	COVER SHEET	A-7	PROPOSED LEFT / RIGHT ELEVATIONS
A-1	EXISTING FRONT / REAR ELEVATIONS	A-8	PROPOSED ROOF PLAN
A-2	EXISTING LEFT / RIGHT ELEVATIONS	A-9	PROPOSED FOUNDATION PLAN
A-3	EXISTING FLOOR PLAN	A-10	PROPOSED FLOOR PLAN
A-4	EXISTING ROOF PLAN	A-11	PROPOSED FRAMING PLANS
A-5	DEMO PLAN	A-12	PROPOSED FRAMING PLANS
A-6	PROPOSED FRONT / REAR ELEVATIONS		

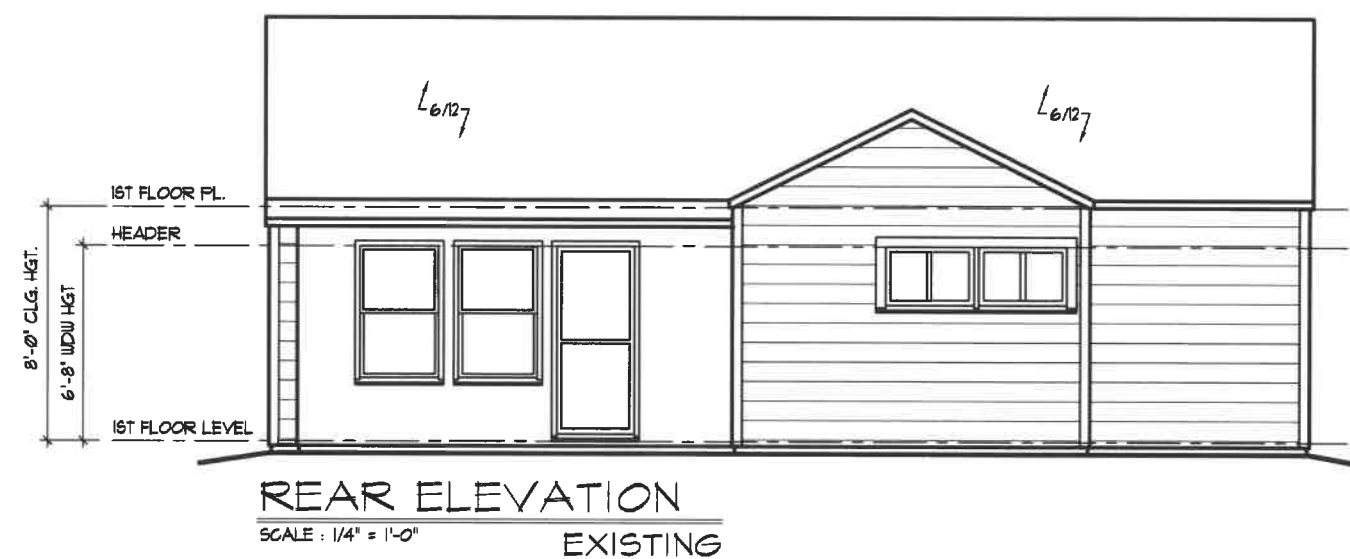
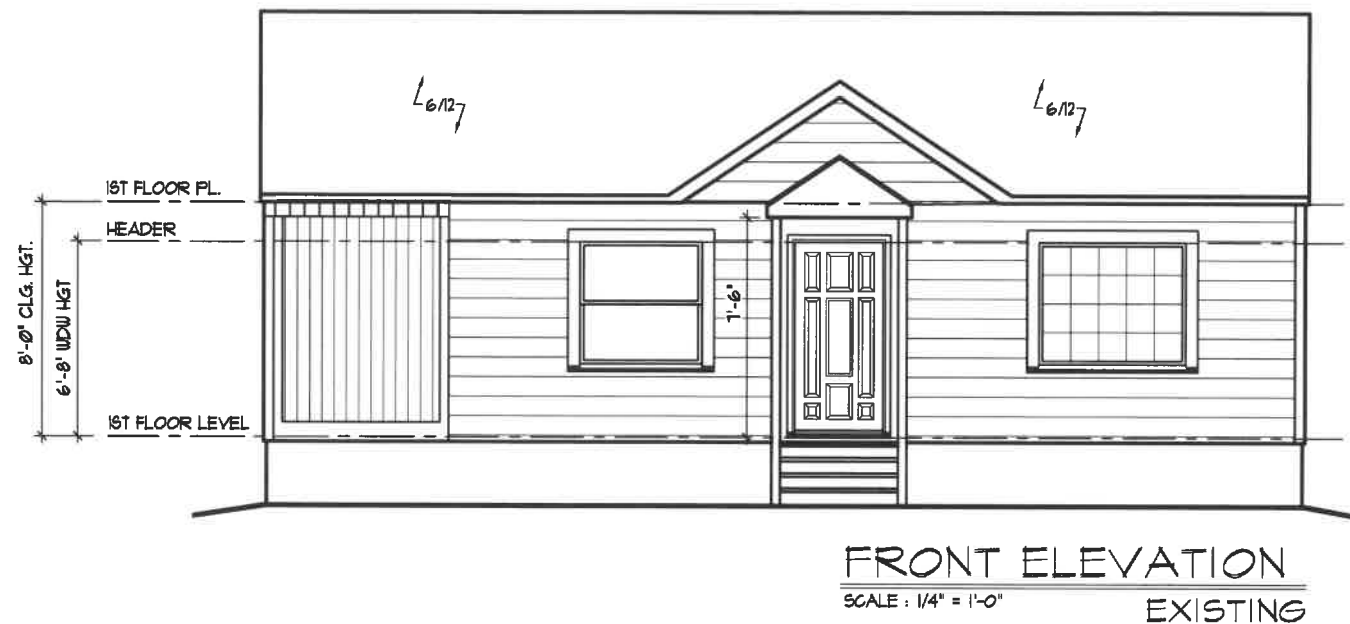


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REMODEL

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A-0



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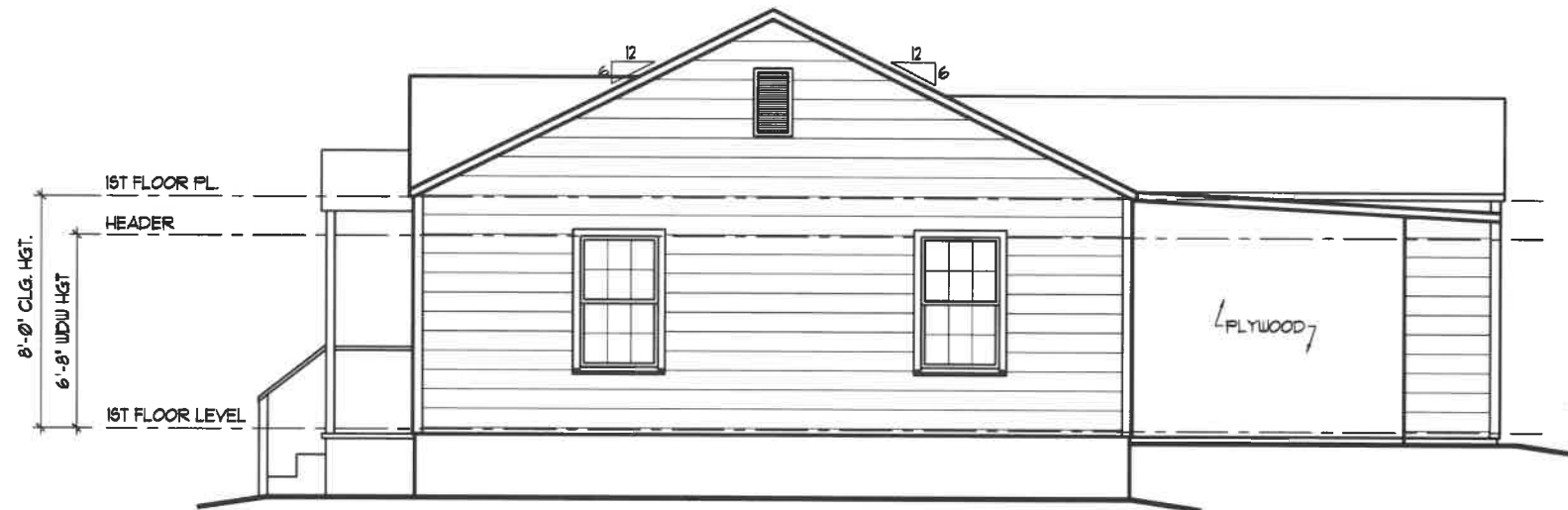
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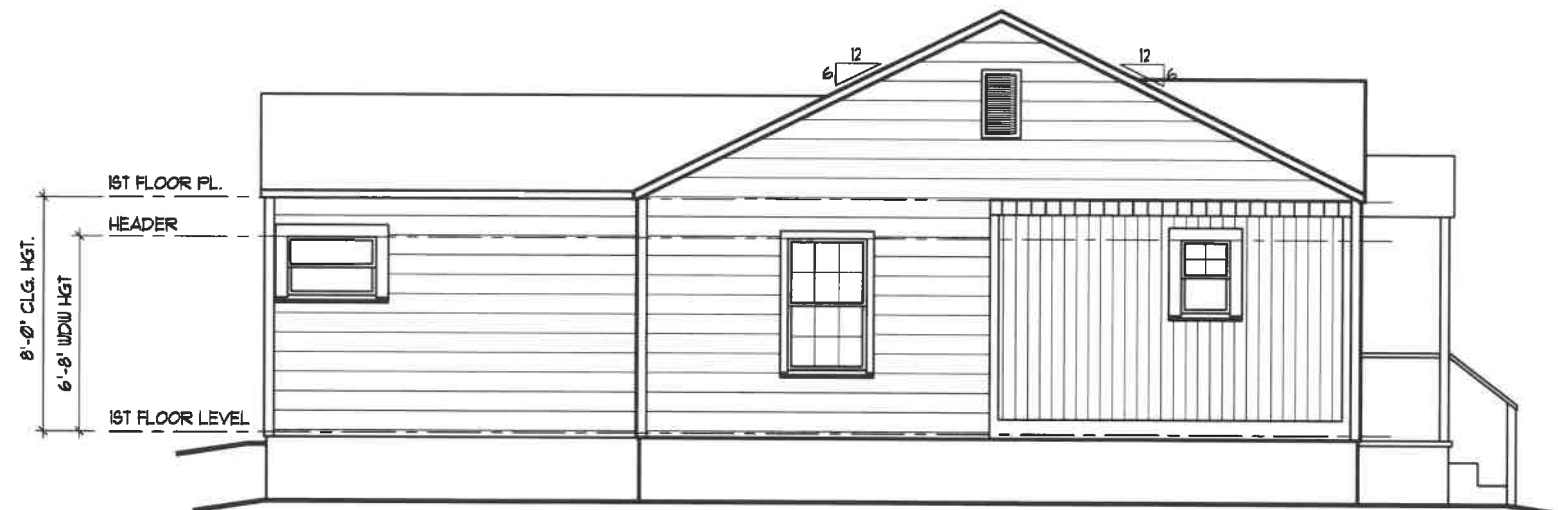
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A-1



RIGHT ELEVATION
SCALE : 1/4" = 1'-0"
EXISTING



LEFT ELEVATION
SCALE : 1/4" = 1'-0"
EXISTING

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179 COLONIAL DRIVE
Woodstock, Ga. 30189
Phone: 678-445-2632
Fax: 678-445-0328

Cadd
assistance
corporation

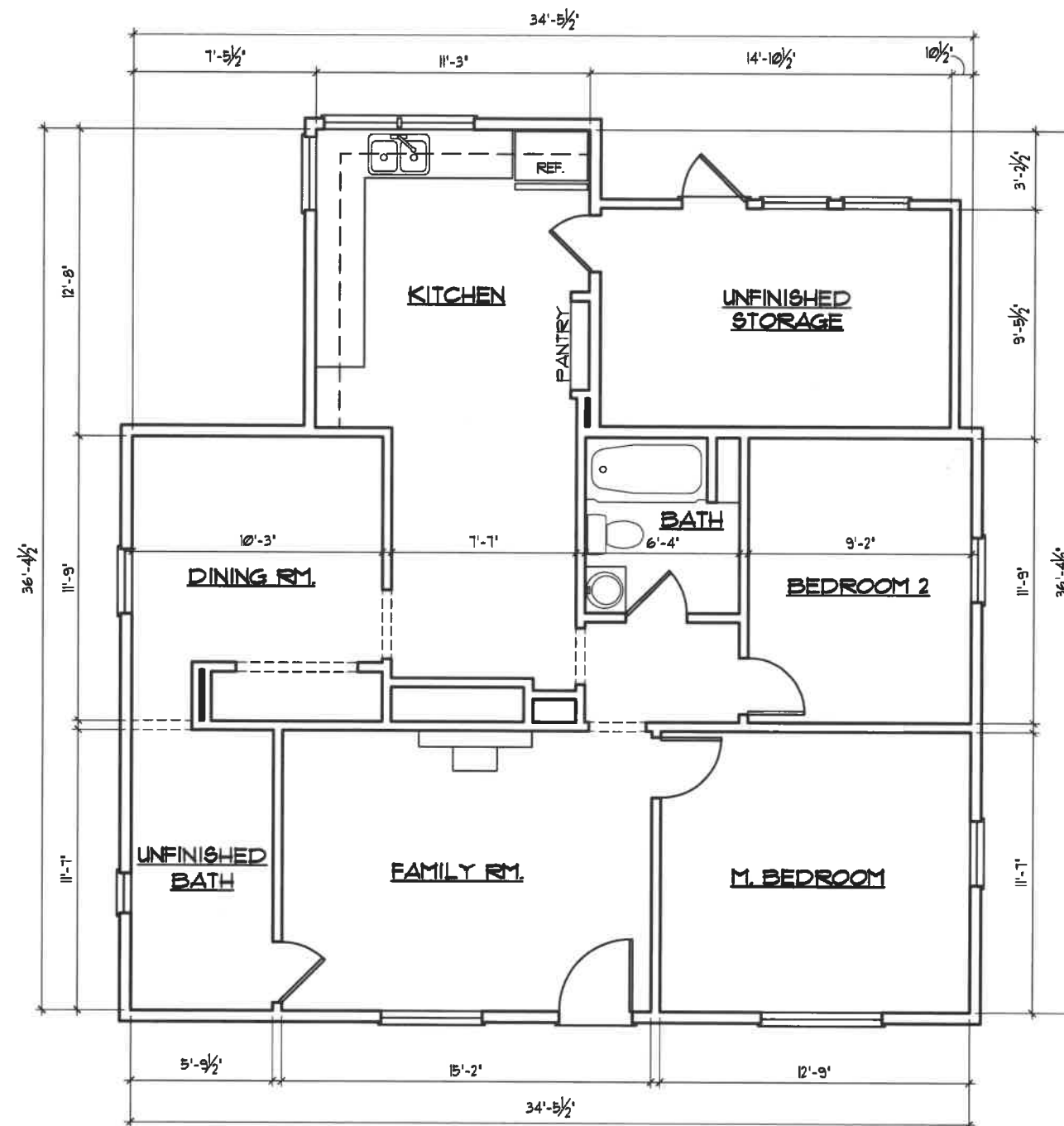
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EXISTING PLAN

SCALE : 1/4" = 1'-0"

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Cadd assistance corporation

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Fax: 678-445-0328

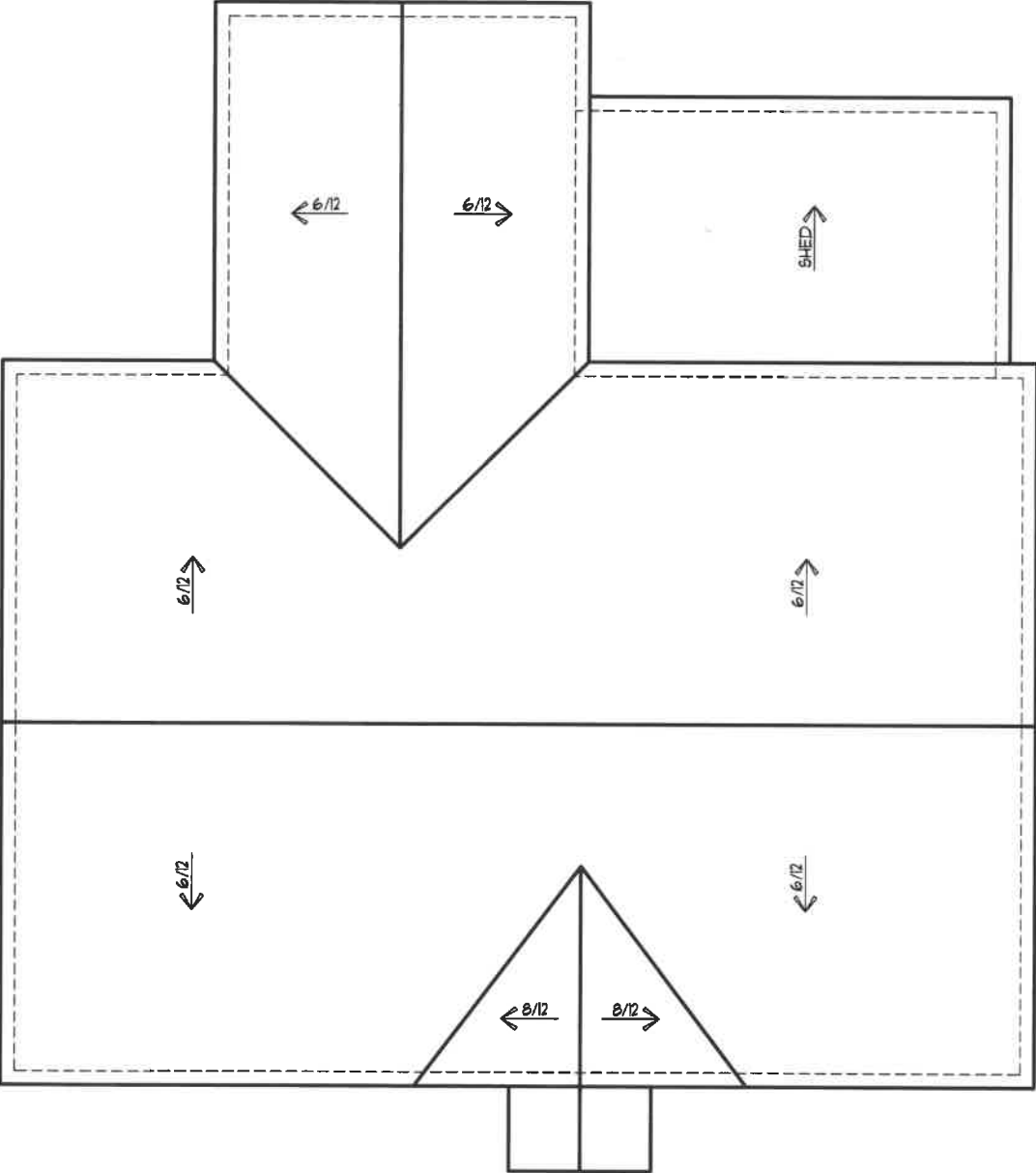
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ROOF PLAN
SCALE : 1/4" = 1'-0" EXISTING

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assistance
corporation

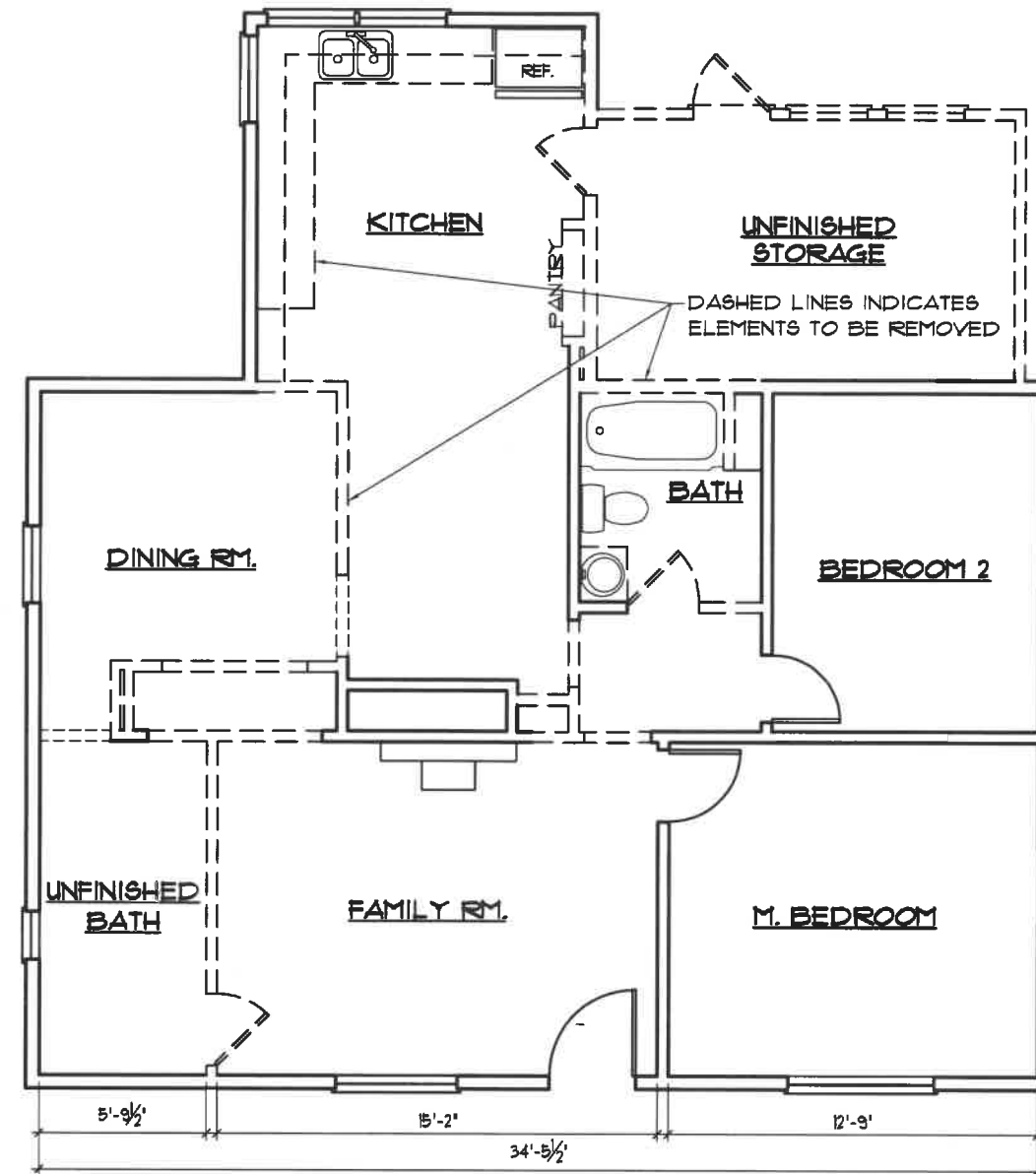
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DEMO PLAN

SCALE : 1/4" = 1'-0"

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**BIRCH ST.
REMODEL**

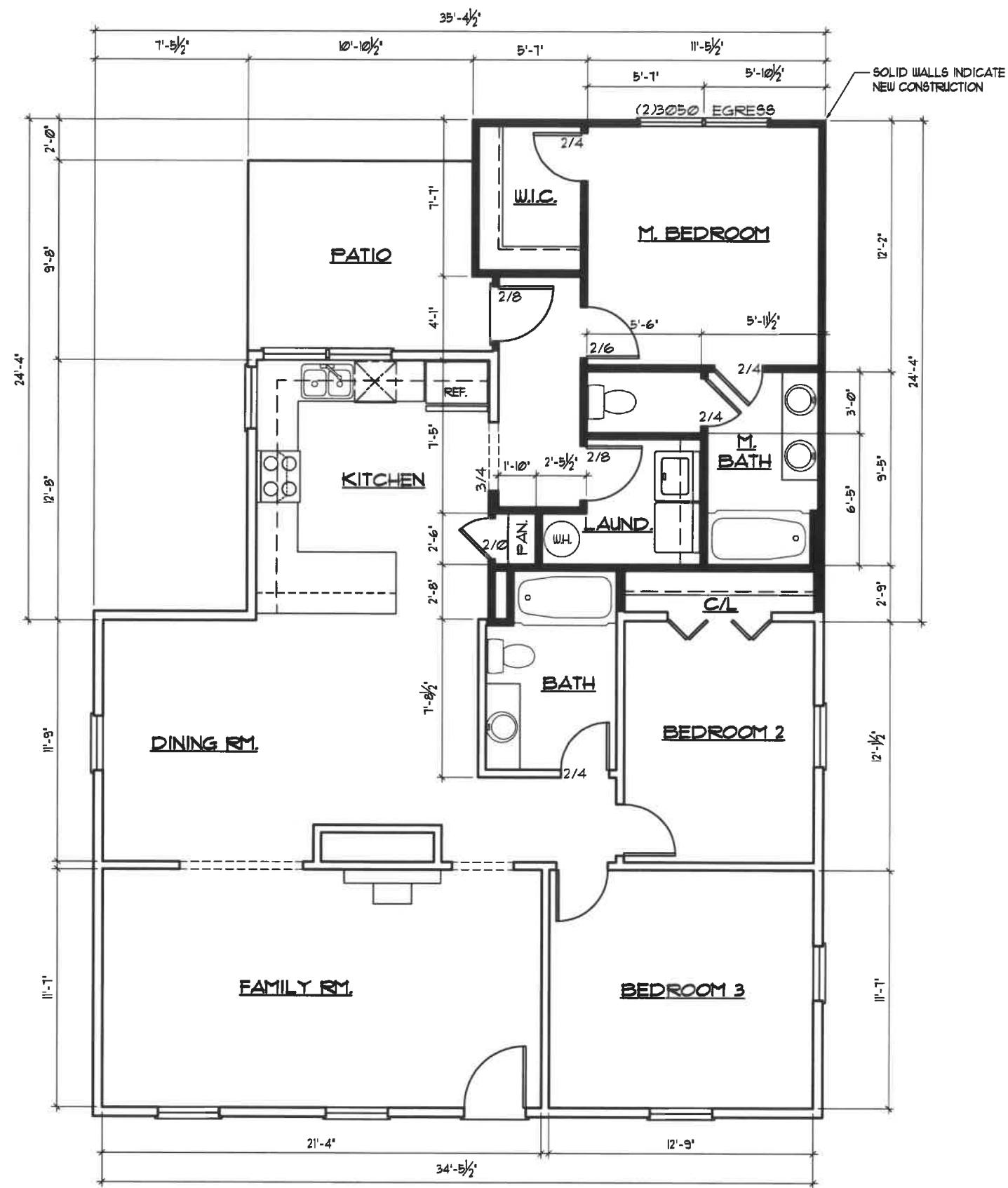
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A-5



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SQUARE FOOTAGE		
EXISTING FLOOR PLN.	1,224	SQ.FT.
PROPOSED ADD'S	390	SQ.FT.
TOTAL	1,614	SQ.FT.

CONSTRUCTION CO. LLC. KEVIN CLARK 770-853-8488	BIRCH ST. REMODEL
--	----------------------

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rev/lead	
no.	date
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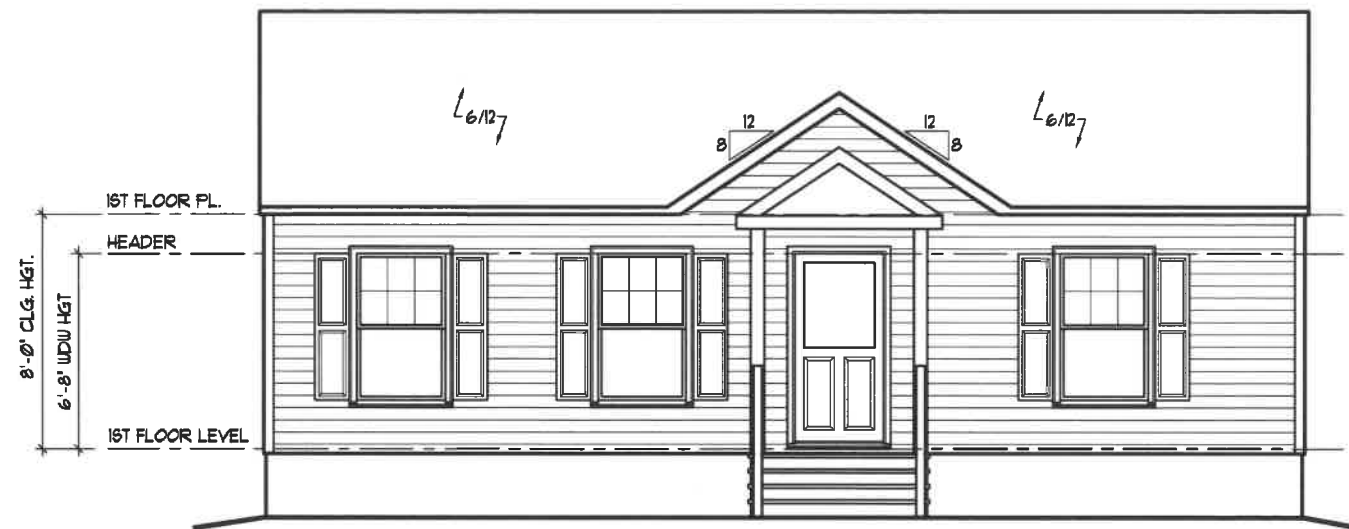
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A-6

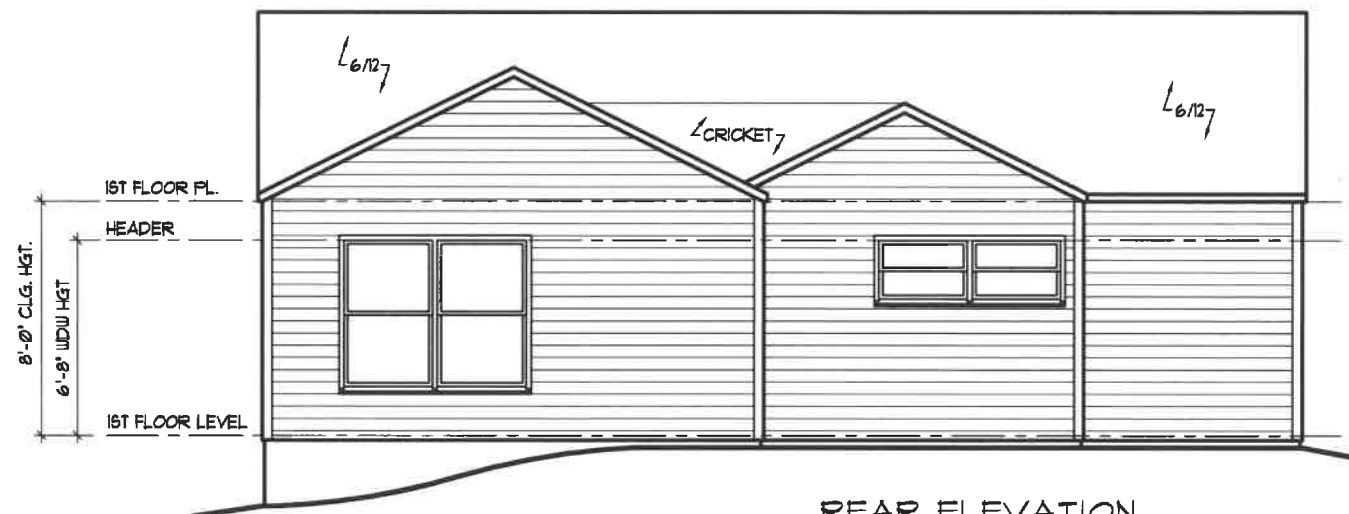


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corporation

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Fax: 678-445-0328



FRONT ELEVATION
SCALE : 1/4" = 1'-0" PROPOSED



REAR ELEVATION
SCALE : 1/4" = 1'-0" PROPOSED

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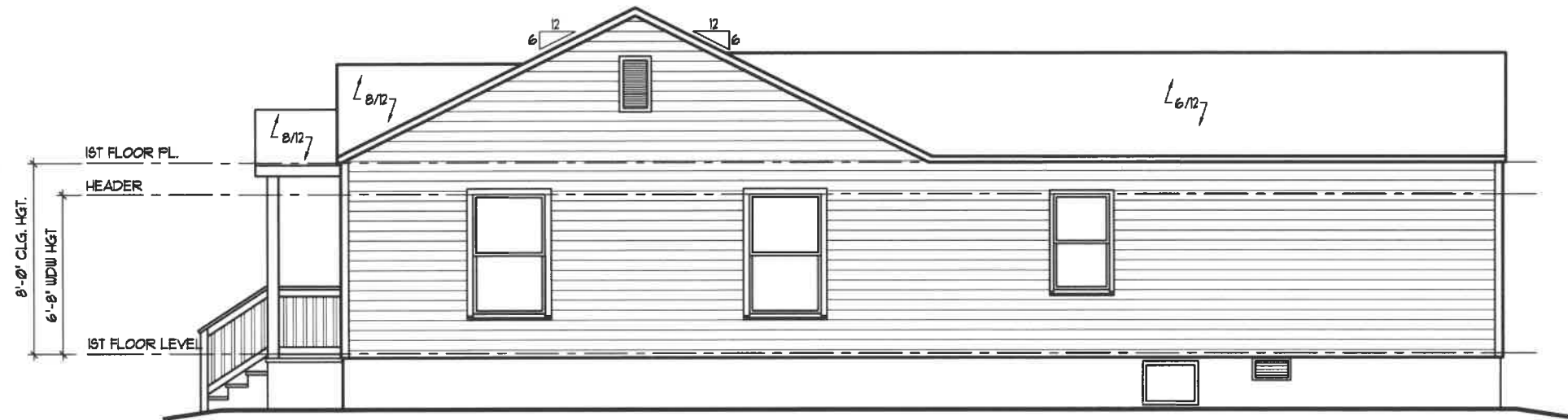
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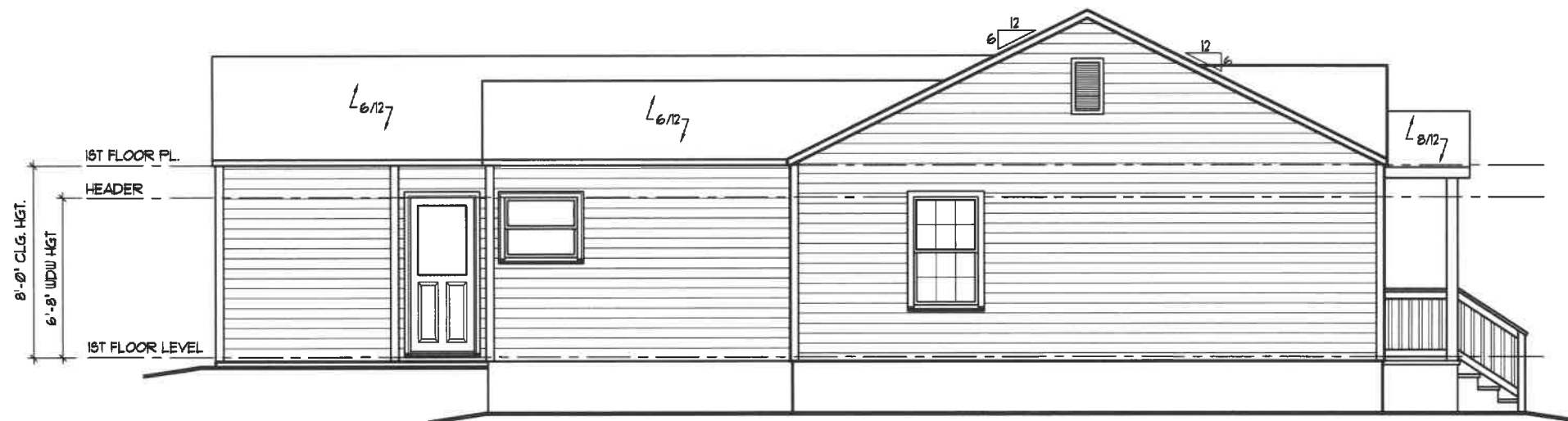
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no.	date
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A-7



RIGHT ELEVATION
SCALE : 1/4" = 1'-0" PROPOSED



LEFT ELEVATION
SCALE : 1/4" = 1'-0" PROPOSED

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REMODEL

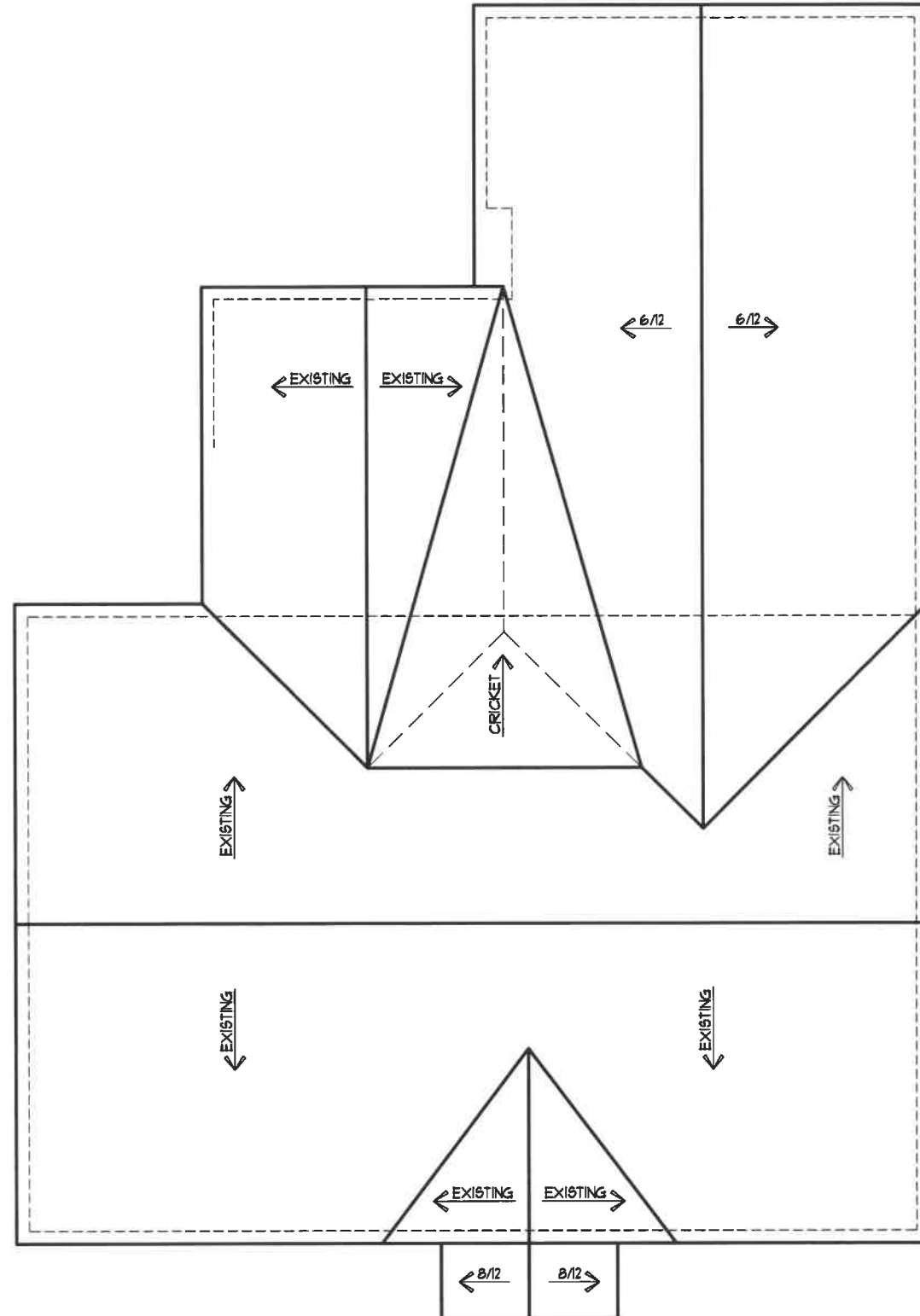
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A-8



ROOF PLAN
SCALE : 1/4" = 1'-0" PROPOSED

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assistance
corporation

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Phone: 678-445-2632
Fax: 678-445-0328

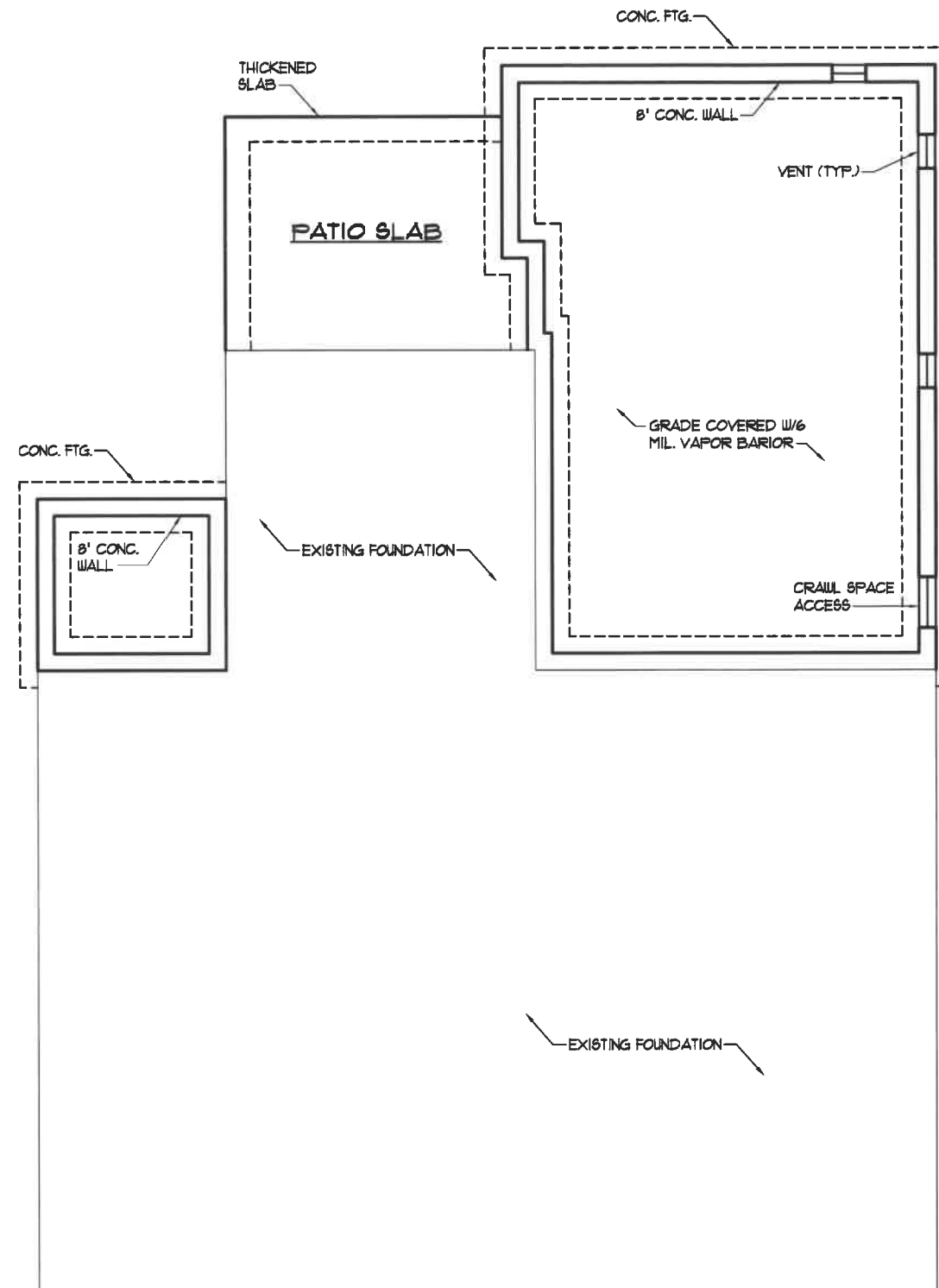
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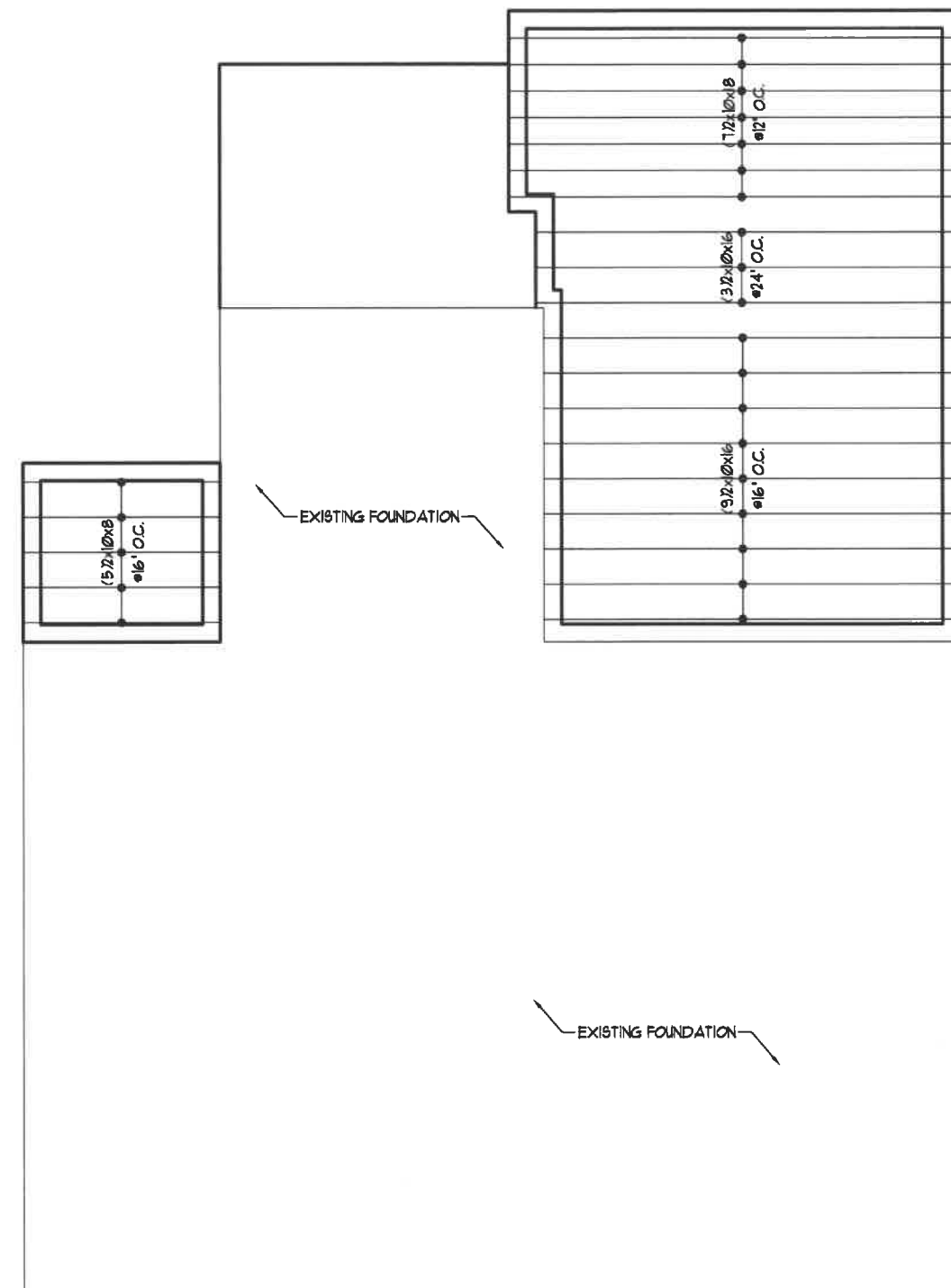
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A-9



FOUNDATION PLAN
SCALE : 1/4" = 1'-0" PROPOSED

RELEASED FOR CONSTRUCTION



FLOOR FRAMING PLAN
SCALE : 1/4" = 1'-0" PROPOSED

**BIRCH ST.
REMODEL**

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PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: July 12, 2019
TO: Tonya Hutson
FROM: Lynn M. Patterson
RE: Design Review - 3210 Oakdale Road Addition

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Ashok Avasthi for the addition of an upper-level sunroom to an existing single-family dwelling at 3210 Oakdale Road. The addition will use metal and glass panels attached to a raised wooden deck dividing the rear facade of the house into two levels.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(e) Roof and Chimney Standards

- ⊘ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ⊘ Roof shingles shall be slate, cedar, or asphalt.
- ⊘ Roof tiles shall be clay, terra cotta or concrete.
- ✎ Metal roofs are:
 - ✎ Allowed on one-family and two-family detached dwellings;
Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✗ Gutters shall be copper, aluminum or galvanized steel.
- ✗ Downspouts shall match gutters in material and finish.
- ✗ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊘ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊘ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊘ Chimneys on exterior building walls shall begin at grade.
- ⊘ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- The Applicant should clarify the roofing material for the proposed sunroom.
- Proposed roof does not have gutters or downspouts.
- Proposed roof is inconsistent with architectural style of existing dwelling.

(f) Street Facing Facade and Style Standards.

- ✗ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✗ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - ✗ Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ⊙ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊙ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11 .
- ⊙ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊙ All exterior stair risers visible from a street shall be enclosed.
- ⊙ Porches, stoops, and balconies may be located in the front or side yard.
- ⊙ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ⊙ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
 - Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ⊙ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ⊙ Porch and stoop foundations shall be enclosed.
- ⊙ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊙ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ⊙ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊙ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊙ Stoop stairs and landings shall be of similar width.
- ⊙ Stoops may be covered or uncovered.
- ⊙ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊙ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊙ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊙ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊙ Front porch columns shall have foundation piers extending to grade.
- ⊙ All porches shall be covered.
- ⊙ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊙ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊙ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Balconies may be covered or uncovered.

STAFF COMMENT:

- **Scope of project does not include changes to street facing facade or existing style.**
- **Glass panels are not a permitted type of exterior building material.**

FINDINGS

The proposed sunroom is to be constructed out of 3' wide glass panels held in place by 3", 5" and 6" posts which appear to be wooden. As such, this constitutes a glass curtain wall, which is not permitted. Further, the sloped roof made of insulated panels would be inconsistent with the roof of the existing building and lacks any gutters or downspouts and per the drawing, and the sunroom extends beyond the side of the residence.

As the deck is at the rear of the dwelling, none of the proposed changes would be visible from the right-of-way.

As the drawings submitted are sketches provided by the applicant, the Design Review Committee may consider the proposed addition is constructed on top of a second story wooden deck. There has been no structural evaluation to determine if the deck is capable of supporting the proposed metal and glass window panels in addition to furniture and general activity.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: April 9, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ASHOK AVASTHI Contact Number: [REDACTED]
Applicants Address: 3210 OAKDALE RD, HAPEVILLE GA 30354
E-Mail Address: [REDACTED] Zoning Classification: B-1
Address of Proposed Work: 3210 OAKDALE RD, HAPEVILLE GA 30354
Parcel ID# (INFORMATION MUST BE PROVIDED): 14009900031529
Property Owner: ASHOK AVASTHI Contact Number: _____
Project Description (including occupancy type): SUN ROOM AND PLACE TO PUT FOR PLANTS (COVER UNDER THE PORCH)

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Ashok Avasthi
Applicant's Signature

4/09/19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 15' x 30'

Total Square Footage of existing building: _____

Estimated Cost of Construction: _____

List/Describe Building Materials on the exterior of the existing structure: _____

SLANT ROOF AND WINDOWS AS PER PHOTO

List/Describe Building Materials proposed for the exterior facade of the new structure: _____

METAL + GLASS

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ASHOK AVASTHI R. swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

ASITOK AVASTHI [Signature] _____
Printed Name Signature Date

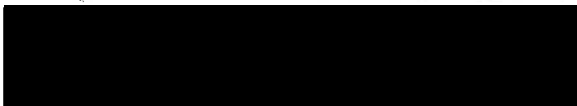
Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



TO: Design Review Committee

AK Avasth's Proposed Design
of sunroom - 3210 Oakdale Rd.
Hapeville, Ga 30354



REAR ELEVATION
SCALE: $\frac{1}{4}" = 1'$

6x6
Post
→

48" ROOF
PANELS

60"

36"

3"

5"

5"

2x10
P.T.
EXISTING

10'6"

6x6 P.T. POSTS
EXISTING

29½'

WINDOWS: 36" x 60" SINGLE HUNG
ROOF PANELS: 48" x 16' x 5" INSULATED
WINDOW ROUGH FRAMING THICKNESS: 3"



← THERMAL GLASS PANELS

SOUTH SIDE ELEVATION
SCALE: $\frac{1}{4}" = 1'$

EXISTING HOUSE

15'

12"

60"

8'

10'

36"

3"

2"x10" P.T. EXISTING

 — 5" INSULATED ROOF PANELS



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: July 12, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 3365 Northside Drive, Revised**

BACKGROUND

Paula Smith submitted a Design Review application for the construction of a new single-family dwelling at 3365 Northside Drive for consideration at the June 19, 2019 meeting of the Design Review Commission. The Commission voted to table this application to allow Ms. Smith to address deficiencies in the plan described in the Planner's Report. Ms. Smith has submitted a revised plan for reconsideration by the Commission.

REPORT

This report assesses the revised plans based on compliance with each deficiency documented in the previous planner's report.

1. The plans should include a new sidewalk on each enfronting street, with a minimum 1' landscape zone and 4' clear zone.

The revised site plan shows a sidewalk along Northside Drive, with no sidewalk shown along Old Jonesboro Road. The applicant states she wishes to build a partial sidewalk along Old Jonesboro Road. A partial sidewalk is not compliant.

2. A minimum of one tree is required every 50' in the supplemental area. The application should be revised to ensure at least one tree is located every 50' along both Northside Drive and Old Jonesboro Road frontages.

Existing and proposed trees will be sufficient to address placement requirements. Tree species will be reviewed by the City Arborist to address compliance with the City's Tree Ordinance.

3. The Applicant should clarify how the mechanical features on the west side of the dwelling will be screened.

The A/C unit has been moved to the south side of the house and now appears to be attached to the main building. The unit is included on the floor plans but not the elevations. Mechanical features are not allowed in the supplemental area. Additional information must be provided.

4. A light at the front door should be included in plans.

Compliant.

5. The driveway is 15' wide at the curb but expands towards the garage, which is not compliant.

The width of the proposed driveway has been expanded to 18', which is not compliant and would require a design exception.

6. The Applicant should ensure the roof shingles have a warranty of at least 30 years and indicate the warranty on the plans.

Compliant.

7. The Applicant should indicate the material of the gutters and downspouts and show downspouts on the plans.
Compliant.
8. The Applicant should provide the material used for the porch columns. Porches must be made of painted or stained wood, stone, brick, or ornamental metal.
Compliant.
9. House is built on a slab foundation. A design exception is required for a porch built at grade.
A design exception is required.
10. The minimum clear depth between the front façade and the outside of the porch columns is 8'. The clear depth is 6' at its narrowest, which is not compliant.
Compliant.
11. Front porch widths must be between 80% and 100% of the adjacent façade. The porch is 70% of the façade, which is not compliant.
The porch is 71% of the adjacent façade, which is not compliant.
12. The Applicant should provide the spacing between porch columns, ensuring they are spaced no more than 8' on center.
Compliant.
13. The front door should be linked to the sidewalk/street via a pedestrian walkway.
Compliant.
14. Building numbers are required and should be shown on plans.
Compliant.
15. The Applicant should indicate the distance windowpanes are recessed from the adjacent façade, ensuring they are recessed at least 2".
Not provided.
16. The Applicant should ensure divided lights, if used, are not GBGs.
Not on plans but indicated by the Applicant on the cover sheet for revisions.
17. Window shutters must match one-half the width of the window opening.
Window shutters have been removed.
18. Windows must enfront for between 30% and 50% of the Old Jonesboro Road facing façade.
Windows/simulated windows have been added to plans but dimensions have not been provided. No windows have been provided for the garage door as requested by the DRC.
19. The Applicant should ensure the window trim is made of wood.
Compliant.
20. Windows grouped together must have center mullions two inches wider than the side trim.
No mullion dimensions have been provided. Only one set of grouped windows appears to have been spaced out.
21. Windowsills are required and must be made of masonry, wood, stone, cast stone, or terra cotta.
Per labels, 18"x18" brick bases have been added, although the elevations still do not show any windowsills.
22. House uses a slab foundation. A design exception is required to allow the first story to be at grade.
A design exception is required.

23. The Applicant should ensure windowsills are between 2.5' and 3.5' above finished floor elevation.

Compliant.

24. The design of the house is closest to a ranch, but with craftsman-like elements such as the porch, higher gable pitch and perpendicular roof lines. As such, it does not conform to the established historical architectural standards.

Overall design requires approval of the Design Review Commission.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: May 13, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Paula Smith Contact Number: [REDACTED]

Applicants Address: PO Box 5, Ellenwood GA 30294

E-Mail Address: [REDACTED] Zoning Classification: R-0

Address of Proposed Work: 0 Northside Dr, Hapeville GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0095-0010-022-9

Property Owner: Paula Smith Contact Number: [REDACTED]

Project Description (including occupancy type): Construct craftsman-style ranch plan with attached 2 car garage 3 bdrms & 2.5 baths, with bonus expansion is available.

Contractors Name: Creative Homes Contact Number: [REDACTED]

Contact Person: Paula Smith Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Paula Smith
Applicants Signature

5-13-19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 2498 sq ft.

Total Square Footage of existing building: _____

Estimated Cost of Construction: \$250K

List/Describe Building Materials on the exterior of the existing structure: N/A

List/Describe Building Materials proposed for the exterior facade of the new structure: _____

AR shingles with a brick water-table below windows
mixed with cement siding in boards & batten style
along with smooth lap pattern. Front porch with
columns. Home has bonus room expansion potential

NOTICE

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(Please Print & Initial)

I Paula Smith P.S. swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☐ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

<u>Paula Smith</u>	<u>Paula Smith</u>	<u>5-13-19</u>
Printed Name	Signature	Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

Exhibit "A" Legal description
0 Northside Drive, Hapeville, Georgia

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 95 OF THE 14th DISTRICT OF FULTON COUNTY, GEORGIA, AND BEING LOT 16, BLOCK A OF UNIT A SUBDIVISION OF THE PROPERTY OF JOANN SIMPSON HOLMES, FORMERLY PROPERTY OF S. R. YOUNG AND GEORGE LONGINO ACCORDING TO PLAT RECORDED IN PLAT BOOK 32, PAGE 25, FULTON COUNTY RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE INTERSECTION OF THE WEST SIDE OF NORTHSIDE DRIVE (FORMERLY BORING STREET) AND THE NORTHEAST SIDE OF OLD JONESBORO ROAD (IF THE LINES WERE EXTENDED RATHER THAN FORMING A CURVE) THENCE RUNNING 175.9 FEET NORTHWESTERLY ALONG THE NORTHEAST SIDE OF OLD JONESBORO ROAD TO LOT 17; THENCE NORTHEASTERLY 105 FEET TO A POINT; THENCE EASTERLY 120 FEET ALONG THE SOUTH SIDE OF LOT 15 TO THE WEST SIDE OF NORTHSIDE DRIVE, THENCE SOUTHERLY 132.3 FEET ALONG THE WEST SIDE OF NORTHSIDE DRIVE TO THE POINT OF BEGINNING. SAID LOT IS UNIMPROVED.

PARCEL 14-0095-0010-022-9

Subject to easements, covenants, restrictions, agreements, right of way deeds, agreements, matters of plat, governmental ordinances and other lawful matters affecting said property

3359



Exit Street View



Google Earth

© 2018 Google
© 2019 Google

Imagery Date: 10/2018 33°39'43.46"N 84°24'05.66"W elev. 938 ft eye alt. 936 ft

© 2019 Google

DATE: July 9, 2019
TO: Tonya Hutson
FROM: Paula Smith
RE: 3365 Northside Dr.

Response to Design Review Recommendations:

The plans should include a new sidewalk on each enfronting street, with a minimum 1' landscape zone and 4' clear zone. **A-7.0**

Partial Design Exception Requested:

Install a full sidewalk on Northside Dr with a partial sidewalk on the right side of the driveway of Old Jonesboro Rd - stopping on the left side of the driveway before the curvature.

A minimum of one tree is required every 50' in the supplemental area. The application should be revised to ensure at least one tree is located every 50' along both Northside Drive and Old Jonesboro Road frontages. **A-7.0**

The Applicant should clarify how the mechanical features on the west side of the dwelling will be screened. **A-4.0**

A light at the front door should be included in plans. **A-1.0**

The driveway is 15' wide at the curb but expands towards the garage, which is not compliant. **A-7.0 Design Exception Requested (Driveway width increased to 18' to allow some off-street parking)**

The Applicant should ensure the roof shingles have a warranty of at least 30 years and indicate the warranty on the plans. **A-1.0 & A-2.0**

The Applicant should indicate the material of the gutters and downspouts and show downspouts on the plans **A-1.0 & A-2.0**

The Applicant should provide the material used for the porch columns. Porches must be made of painted or stained wood, stone, brick, or ornamental metal. **A-4.0**

House is built on a slab foundation. A design exception is required for a porch built at grade. **A-3.0 & A-4.0 Design Exception Requested (Per our discussion at the initial design meeting the board verbally agreed)**

The minimum clear depth between the front façade and the outside of the porch columns is 8'. The clear depth is 6' at its narrowest, which is not compliant. **A-3.0 & A-4.0**

Front porch widths must be between 80% and 100% of the adjacent façade. The porch is 70% of the façade, which is not compliant. **A-3.0 & A-4.0 (Changes made as discussed & agreed at the initial design meeting)**

The Applicant should provide the spacing between porch columns, ensuring they are spaced no more than 8' on center. **A-4.0**

The front door should be linked to the sidewalk/street via a pedestrian walkway. **A-7.0**

Building numbers are required and should be shown on plans. **A-1.0**

The Applicant should indicate the distance windowpanes are recessed from the adjacent façade, ensuring they are recessed at least 2". **A-1.0**

The Applicant should ensure divided lights, if used, are not GBGs.
Divided Lights Will Not Be GBG.

Window shutters must match one-half the width of the window opening. **Shutters Removed.**

Windows must enfront for between 30% and 50% of the Old Jonesboro Road facing façade.
A-1.0 (Changes made as discussed & agreed at the initial design meeting)

The Applicant should ensure the window trim is made of wood. **A-1.0**

Windows grouped together must have center mullions two inches wider than the side trim.
A-1.0

Windowsills are required and must be made of masonry, wood, stone, cast stone, or terra cotta.
A-1.0

House uses a slab foundation. A design exception is required to allow the first story to be at grade. **A-3.0 & A-4.0 Design Exception Requested (Per discussion at the initial design meeting the board verbally agreed)**

The Applicant should ensure windowsills are between 2.5' and 3.5' above finished floor elevation. **A-1.0**

The design of the house is closest to a ranch, but with craftsman-like elements such as the porch, higher gable pitch and perpendicular roof lines. As such, it does not conform to the established historical architectural standards.

[illegible]

GRASSING SCHEDULE

SPECIES	DATE/AGE	PLANTING DATES	FERTILIZER ANALYSIS	RATE/AGE
PESPERDE UNCLIPPED	75 LB.	1/1 - 12/1	6-12-12	1500 LB.
LOWESS65	4 LB.	3/1 - 4/1	6-12-12	1500 LB.
TALL PESPERDE GRASS	50 LB.	8/1 - 10/1	6-12-12	1500 LB.
COMMON PERDE GRASS (UNCLIPPED)	20 LB.	1/1 - 4/1	6-12-12	1500 LB.
COMMON PERDE GRASS (CLIPPED)	40 LB.	5/1 - 7/1	6-12-12	1500 LB.
PERDEING TWO GRASS FOR TURFGRASS	100 LB.	10/1 - 1/15 3/1 - 5/15	10-10-10	1500 LB.
RTG GRASS FOR TURFGRASS (NO OIL)	168 LB.	8/1 - 12/1	10-10-10	1500 LB.
SUNGRASS FOR TURFGRASS (NO OIL)	60 LB.	4/1 - 8/1	10-10-10	1500 LB.

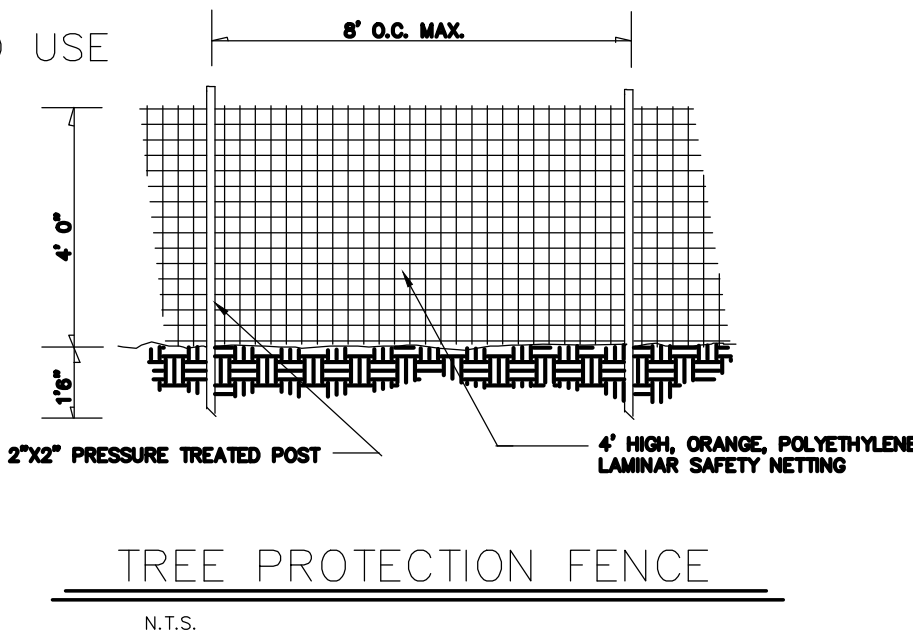
APPROX. STARTING DATE: 8-21-19
APPROX. COMPLETION DATE: 1-21-20

ITEM	DESCRIPTION	MONTHS OF ACTIVITY				
		1	2	3	4	5
1	SILT BARRIER INSTALLATION	■				
2	CLEARING AND GRUBBING	■	■			
3	RETAINING WALL	■	■			
4	GRADING	■	■	■		
5						
6	UTILITIES					
7	TEMPORARY GRASSING		■	■		
8	BUILDING		■	■	■	
9	CURB AND GUTTERS		■	■	■	
10	SIDEWALKS					
11	BASE AND PAVING					
12	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES					■
13	MAINTENANCE OF EROSION CONTROL STRUCTURES					

"NO WATERS OF THE STATE WITHIN
200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

TREES TO BE DESTROYED OR REMOVED.



"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES".

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS: AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED".

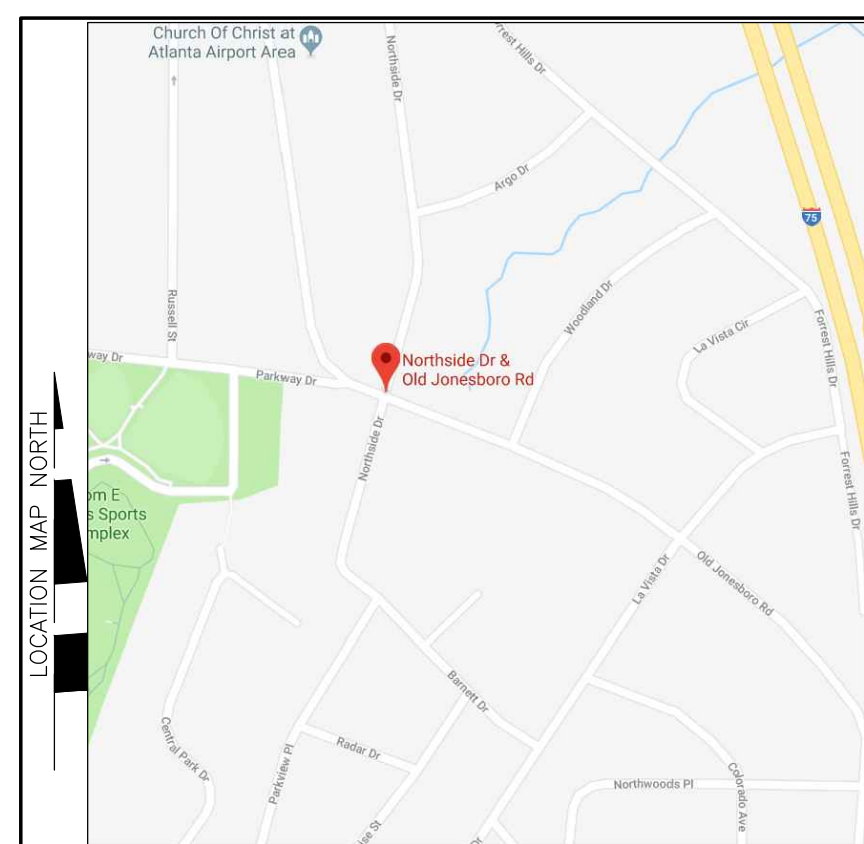
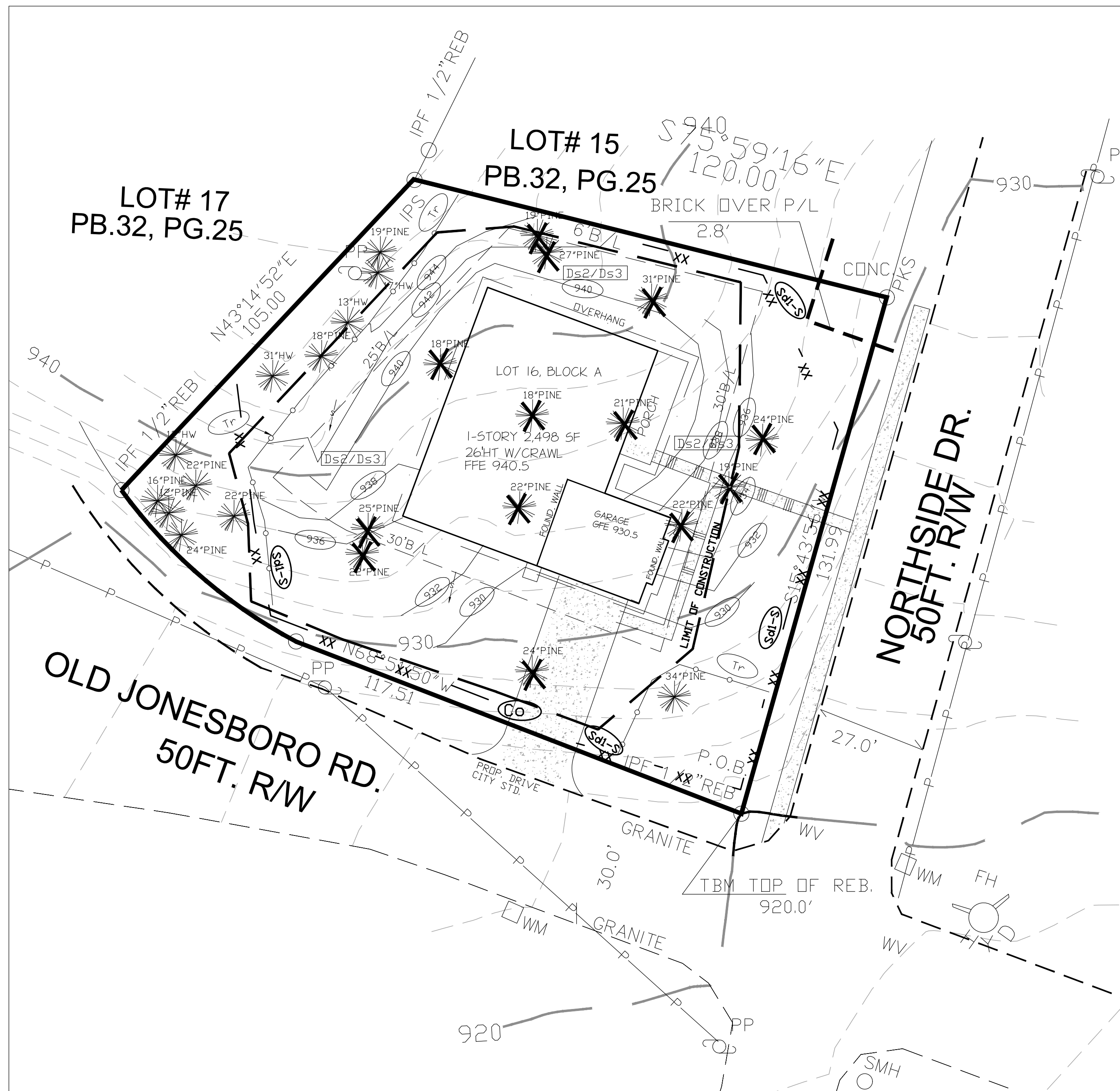
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"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINE NECESSARY BY ON-SITE INSPECTION."

"NO WATERS OF THE STATE WITHIN
200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

LEVEL II CERTIFIED DESIGN PROFESSIONAL
TONY DAWSON
CERTIFICATION NUMBER 0000039605
ISSUED: 3/9/2007 EXPIRES: 3/9/2022



LOCATION MAP (N.T.S.)

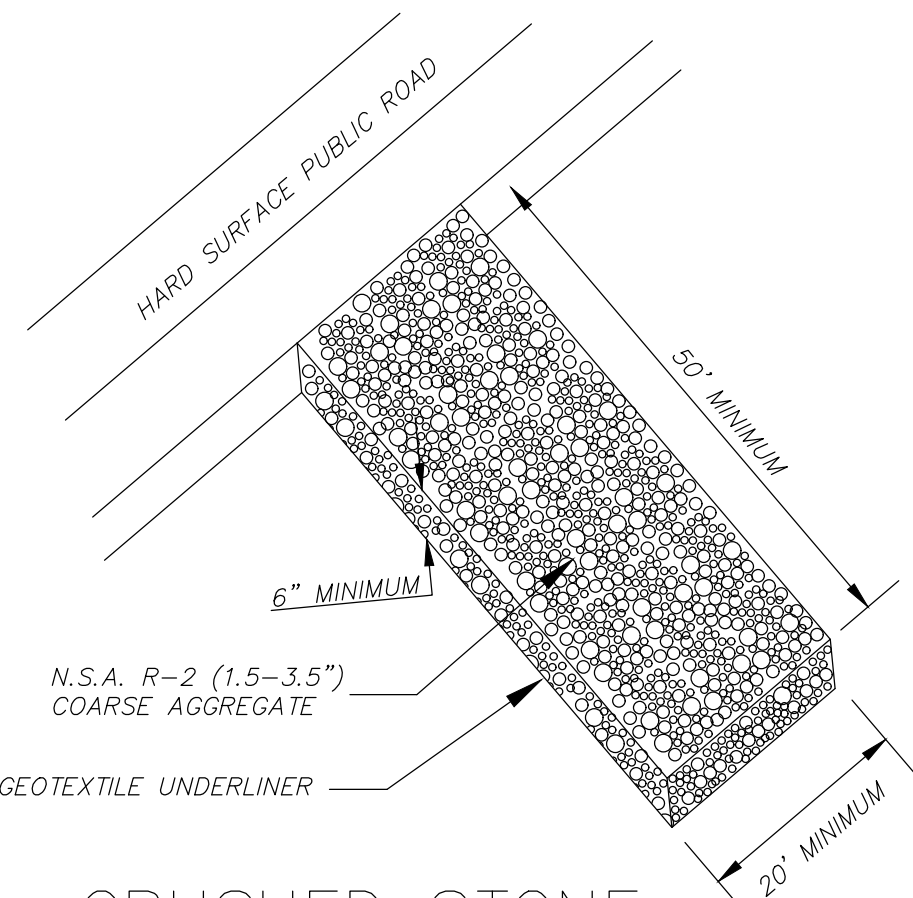


6212

CRZ

 $0.4 = \text{PROP. SPOT EL}$

 = PROP. GRADE


$$YY - YY$$


NOT TO SCALE

0.22 ACRES DISTURBED

SITE INFO
0.41 ACRES, 17,859 SF
ZONED R

MAX. 70% LOT COVERAGE = 12,501 SF

TOTAL HOUSE SF = 2,498 SF
FAR= 2498/17859 = 0.14 < 0.5

PROP. HOUSE SF = 2,498 SF
PROP. GARAGE SF = 500 SF
PROP. PORCH SF = 212 SF
PROP. DRIVE SF = 780 SF

TOTAL IMPERV. SF. = 3,990 SF
22% LOT COVERAGE = 3990/17859 SF

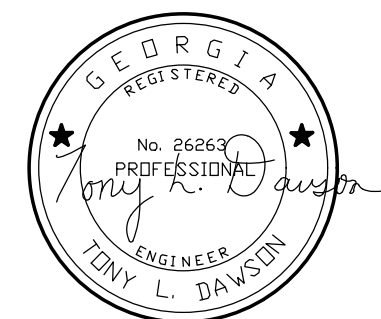
24HR CONTACT/DEVELOPER
OWNER
PAULA SMITH
POST BOX 5
ELLENWOOD, GA 30294
404-427-8558

GRADING, EROSION & TREE PROTECTION

FOR
PAULA SMITH
LOCATED AT
3365 NORTHSIDE DR
LAND LOT 98 14TH DISTRICT
HAPEVILLE, GA

A-8.0

DRAWN BY	TLD
CHECKED BY	TLD
APPROVED:	TLD
RELEASED FOR CONS.	



1569 CHERRY HILL ROAD
CONYERS, GEORGIA 30094
678-485-9610 FAX: 678-720-5795
EMAIL: TONYD@DAWSONEC.COM



CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sd1	SEDIMENT BARRIER			A BARRIER TO PREVENT EROSION FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE AN EROSION PALEO OR A ROW OF TREES, BUSHES, LOGS, ROCKS, GRASS, OR A TEMPORARY AND PERMANENT.
Ds1	DESIGN AND STABILIZATION WITH VEGETATION			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH ROOT SYSTEMS BARRIERS TO CONTROL EROSION.
Ds2	DESIGN AND STABILIZATION WITH PERMANENT VEGETATION			ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, BUSHES, AND GRASSES, WHICH DO NOT REQUIRE MAINTENANCE.
Co	CONSTRUCTION			A GROUPED POND AND LOCATED IN THE CONSTRUCTION SITE USED TO PROVIDE A PLACE FOR EXCESSIVE RUN-OFF FROM TREES TRIMMED PROTECTED PUBLIC SPACES.

8' 0" O.C. MAX.

4' 0"

1 1/2"

2" x 2" PRESSURE TREATED POST

4' HIGH, ORANGE, POLYETHYLENE SAFETY METHOD

N.T.S.

APPROX. STARTING DATE: 8-21-19 APPROX. COMPLETION DATE: 1-21-20						
ITEM	DESCRIPTION	MONTHS OF ACTIVITY				
		1	2	3	4	5
1	SILT BARRIER INSTALLATION					
2	CLEARING AND GRUBBING					
3	RETAINING WALL					
4	GRADING					
5						
6	UTILITIES					
7	TEMPORARY GRASSING					
8	BUILDING					
9	CURB AND GUTTERS					
10	SIDEWALKS					
11	BASE AND PAVING					
12	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES					
13	MAINTENANCE OF EROSION CONTROL STRUCTURES					

TREES TO BE DESTROYED OR REMOVED.

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

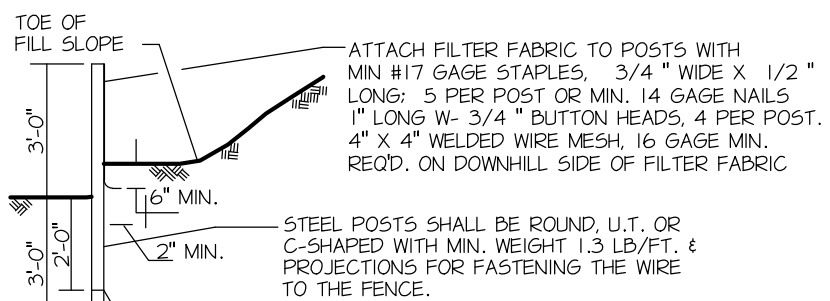
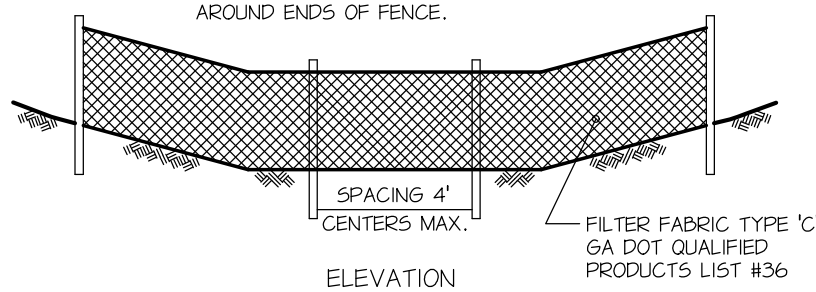
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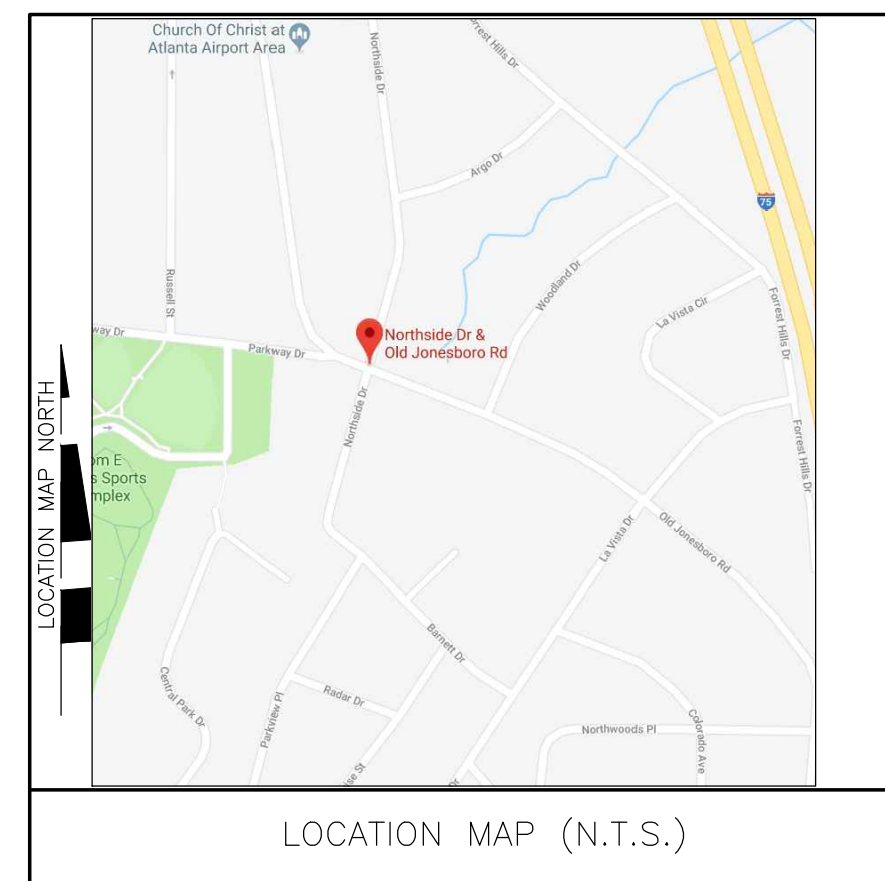
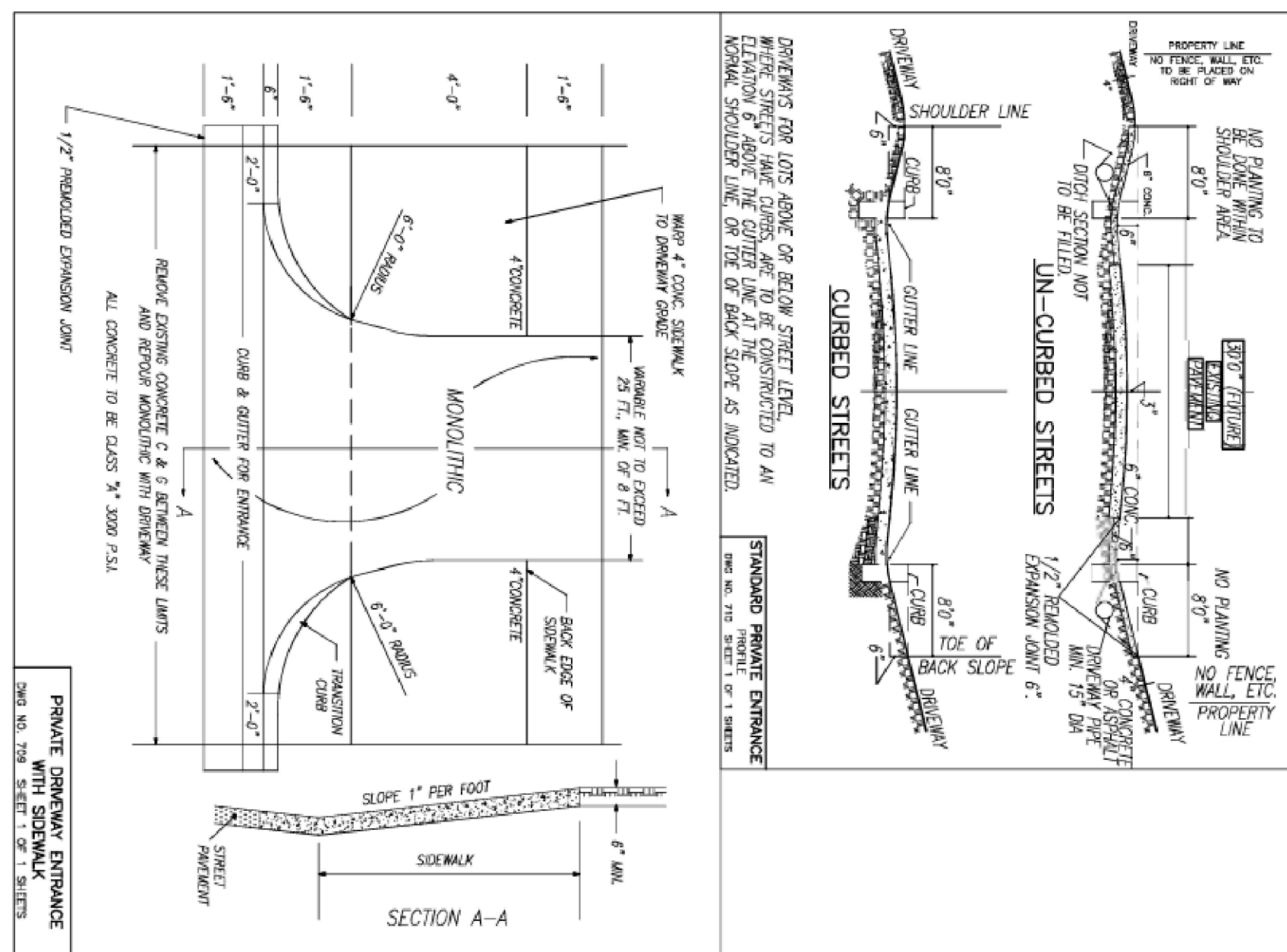
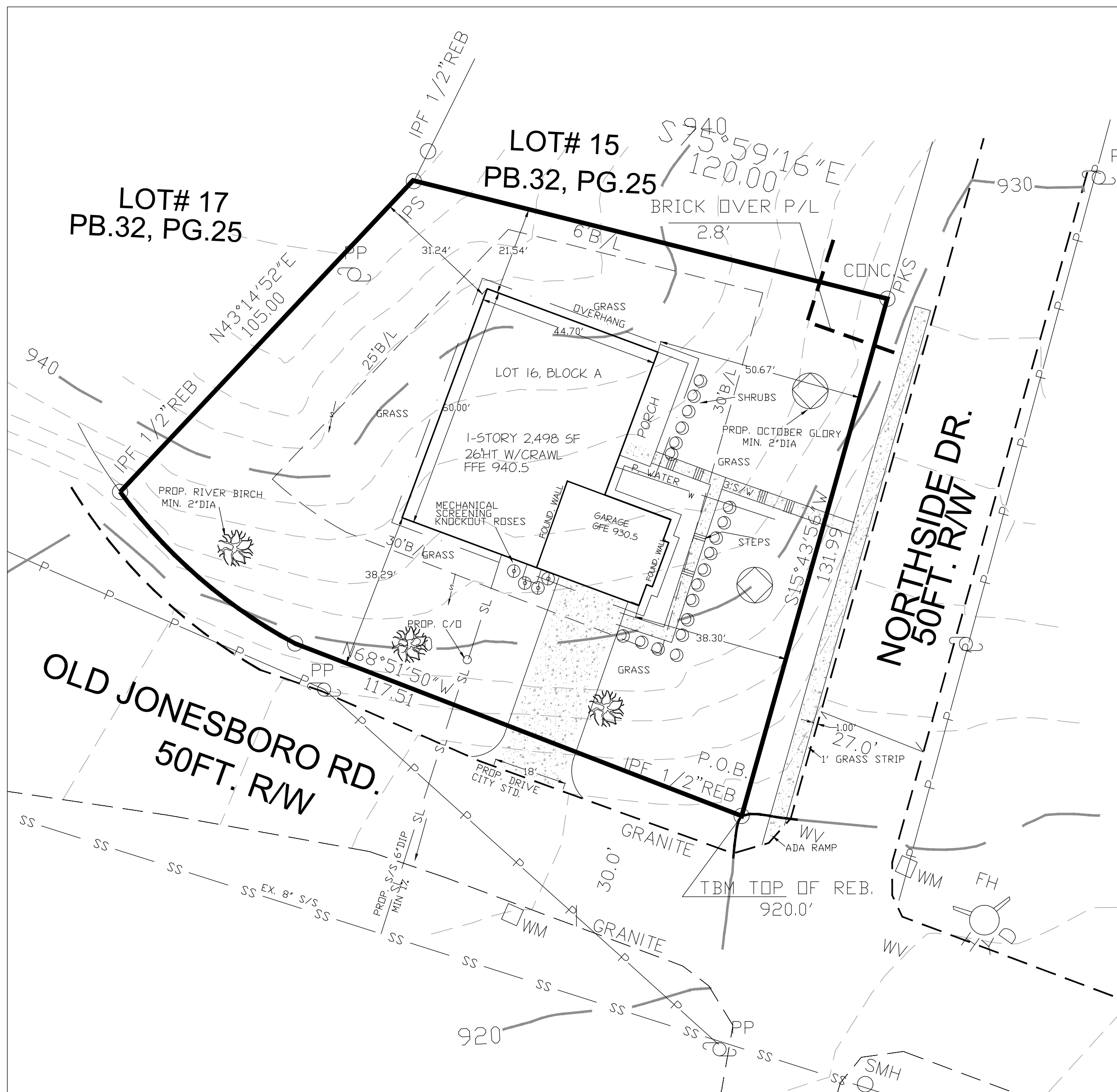
NOTE:
BOTTOM OF FENCE AT END SHALL BE
AT OR ABOVE THE TOP OF THE FENCE
AT LOW POINT. TO PREVENT FLOW
AROUND ENDS OF FENCE.



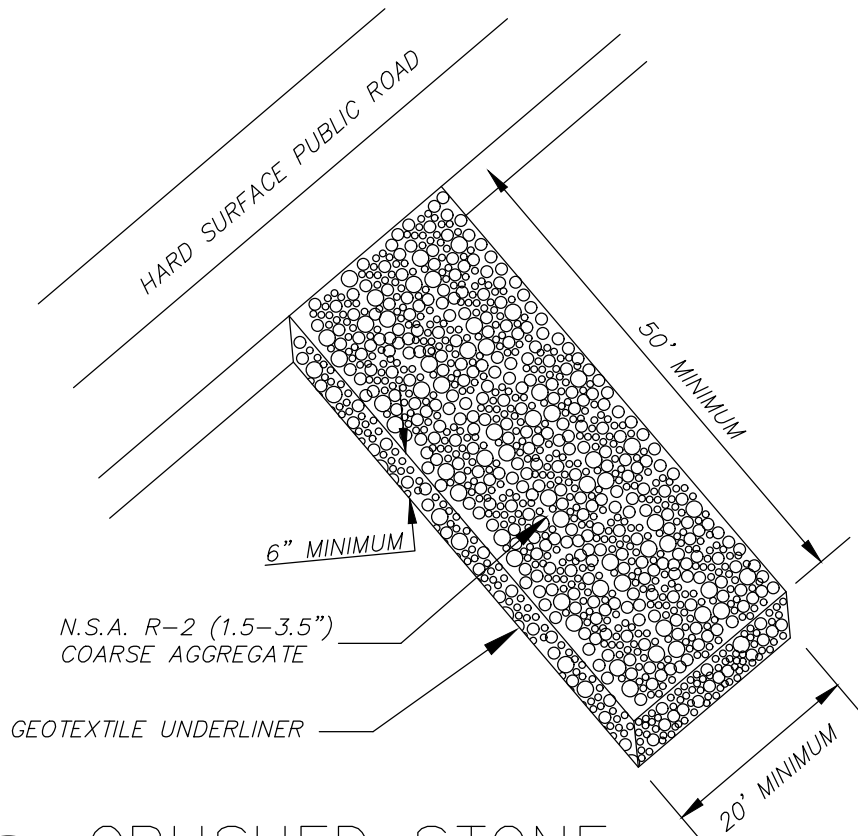
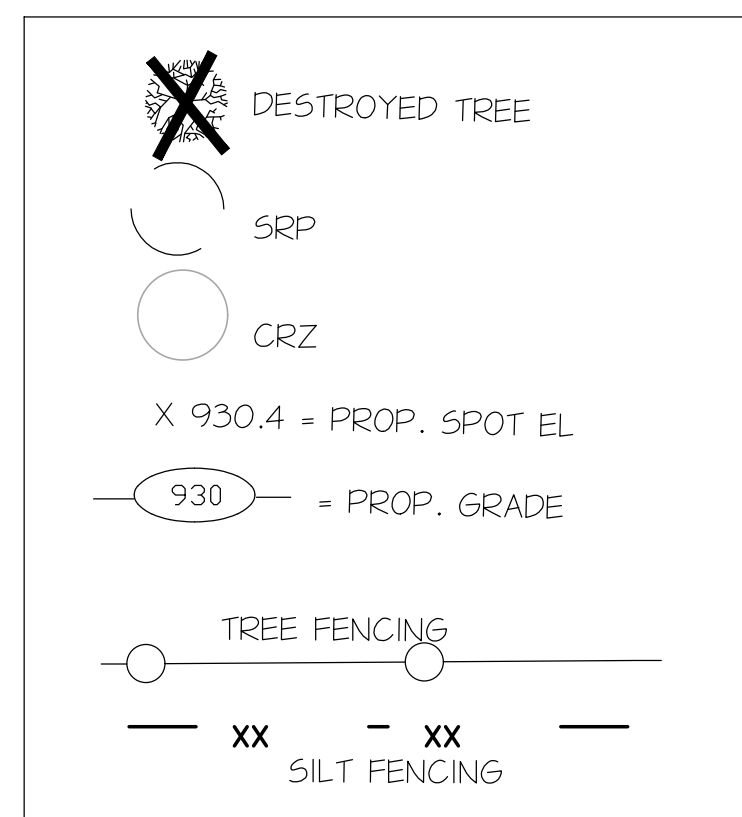
NOTE: SILT FENCE TO MEET REQUIREMENTS OF SECTION 171, GEORGIA D.O.T. SPECS., LATEST EDITION

SEDIMENT CONTROL FENCE
N.T.S.

TYPE "C" SILT FENCE



LOCATION MAP (N.T.S.)



Co CRUSHED STONE
CONSTRUCTION EXIT

NOT TO SCALE

0.22 ACRES DISTURBED

SITE INFO
0.41 ACRES, 17,859 SF
ZONED R

MAX. 70% LOT COVERAGE = 12,501 SF

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24HR CONTACT/DEVELOPER
OWNER
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DAWSON ENGINEERING CONSULTANT, LLC
1569 CHERRY HILL ROAD
CONYERS, GEORGIA 30094
678-485-9610 FAX: 678-720-5795
EMAIL: TONYD@DAWSONEC.COM



DRAWN BY TLD
CHECKED BY TLD
APPROVED: TLD
RELEASED FOR CONS.



7-2-19	2	REVISED DRIVE/LANDSCAPING	TD
DATE: 5-18-19	1	REVISED Tr	TD
SCALE: 1" = 20'		PROP NO: 1011600	DATE: 5-9-19

SITE & LANDSCAPE PLAN

FOR
PAULA SMITH
LOCATED AT
3365 NORTHSIDE DR
_AND LOT 98 14TH DISTRICT
HAPEVILLE, GA

SITE PLAN

A-7.0

PROVIDE SUPPORT FOR
PORCH AND STEPS TO
GRADE AS REQ'D.

NOTE: WHEN TWO ROOFS INTERSECT WITH
DIFFERENT ROOF PITCHES, BLOCK TOP OF
STUD WALLS AS REQ'D. TO LINE UP FASCIAS
AT A MINIMUM OF 1'-0" OVERHANG

NOTE: ELEVATIONS REFLECT A
SLAB FOUNDATION. IF ANOTHER
FOUNDATION IS USED, BUILDER SHOULD
DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE
PITCHED FROM TOP
OF CEILING JOISTS

NOTE: ATTIC VENTILATION PER
LOCAL CODES AND REQUIREMENTS

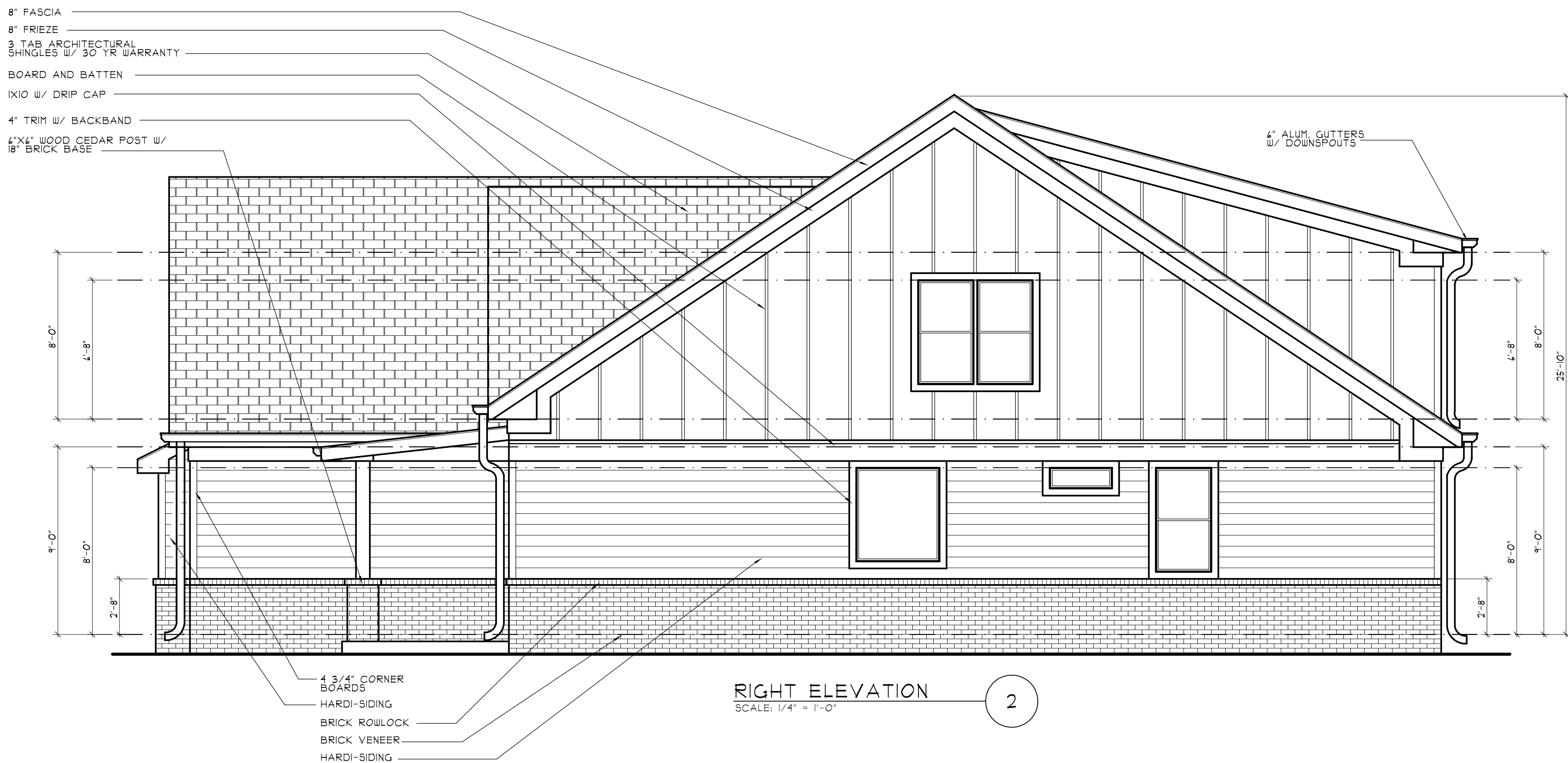
GENERAL FRAMING NOTES

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY
DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY
WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL
STRUCTURAL REQUIREMENTS.

1. PROVIDE PURLS AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL HEADERS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD FLITCH
PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL
PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1/4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0"
O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE
BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d
COMMONS AT 4" O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C.
AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL
CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL
LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED
BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY
LOAD.
8. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS
WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN
RIDGE BOARD JOISTS CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HIP VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2x" SIZE
LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS
MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF
REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING
WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT
BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM
OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL
STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING COLUMNS, BEAMS, ETC., TO BE DESIGNED BY
LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS
OTHERWISE NOTED.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE
NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FLA/VA HFS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE
BEFORE BEGINING CONSTRUCTION. ANY DISCREPANCIES SHALL BE
REPORTED TO SPENCER RESIDENTIAL, INC. FOR JUSTIFICATION
AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS
SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST
REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.
5. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
6. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL
SITE REQUIREMENTS.
7. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE
AS PER CODE.
8. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND
STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS
OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING
CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS,
ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING
ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES
AND TO INSURE A QUALITY AND SAFE STRUCTURE.
9. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A
GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL
BUILDING CODES WHERE APPLICABLE.
10. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS
AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT
THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY
THE LOAD.



REVISIONS	
NO.	DESCRIPTION
DATE OF THIS PLAN: Tuesday, July 9, 2019	

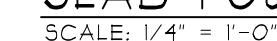
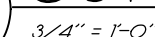
SEAL

Knight Design Group, Inc.
1270 CAROLINE STREET SUITE D416
ATLANTA, GEORGIA 30307
PHONE: (404) 484-4734 * Email: csknightdesigner@gmail.com

NEW SPEC HOME FOR:
3365 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

DRAWN	CSK
CHECKED	CSK
JOB NUMBER	19-034
SCALE	AS NOTED
DATE	4/25/2019
SHEET	

A-2.0
2 OF 8

A-3.0
3 OF 8



Knight Design Group, Inc.
1270 CAROLINE STREET SUITE D416

NEW SPEC HOME FOR:
3365 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

[illegible][illegible]

Knight Design Group, Inc.
1270 CAROLINE STREET SUITE D4 16
ATLANTA, GEORGIA 30307
PHONE: (404) 934-4734 * Email: csknightdesigner@gmail.com

NEW SPEC HOME FOR:
3345 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

A-4.0

PROVIDE SUPPORT FOR PORCH AND STEPS TO GRADE AS REQ'D.

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

NOTE: ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

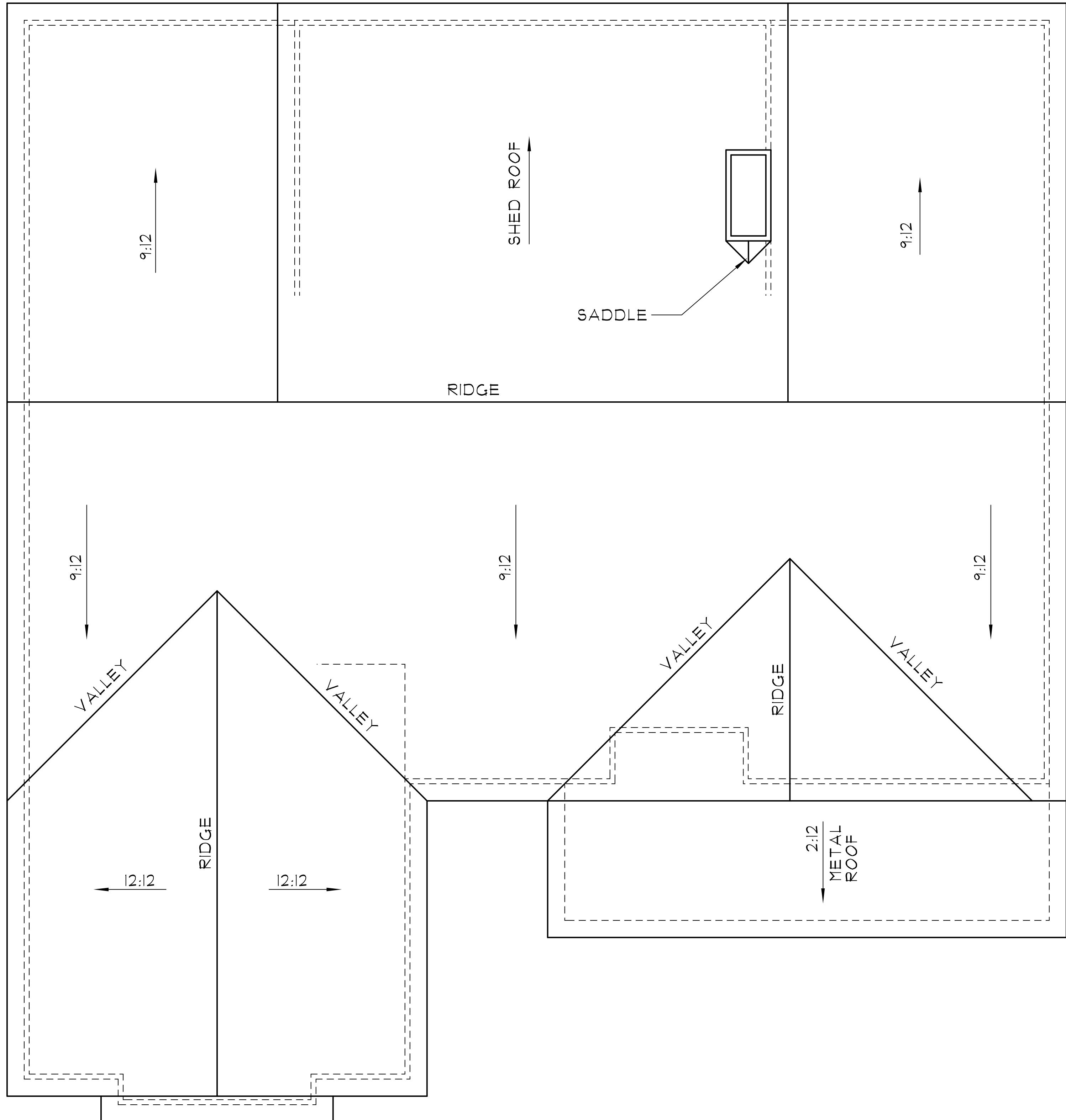
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1. PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL HEADERS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1/4" CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d COMMONS AT 4' O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2X8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE 2X" SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING (COLUMNS, BEAMS, ETC.) TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.

GENERAL NOTES

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3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED, FIRM, CAPABLE OF HANDLING THE BUILDING.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY, AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



ROOF PLAN
SCALE: 1/4" = 1'-0"

1

C:\Users\Conroy\OneDrive\Knight Design Group\DCAD-20\NCDG-20RNP-034-Polo Hopedale Ranch\NCDG-20RNP-034-Architectural

Knight Design Group, Inc.
1270 CAROLINE STREET SUITE D416
ATLANTA, GEORGIA 30307
PHONE: (404) 994-4734 * Email: csknightdesigner@gmail.com

NEW SPEC HOME FOR:
3365 NORTHSIDE DRIVE
HAPEVILLE, GEORGIA

DRAWN CSK
CHECKED CSK
JOB NUMBER 19-034
SCALE AS NOTED
DATE 4/25/2019
SHEET

A-6.0
1 OF 8

REVISIONS	
NO.	DESCRIPTION
DATE OF THIS PLOT: Tuesday, July 9, 2019	

SEAL



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: July 12, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – Village Walk at Hapeville**

BACKGROUND

The City of Hapeville has received a revised Design Review Application from Miller Lowry Developments for the Village Walk at Hapeville mixed-use development. The new documentation addresses deficiencies in the original application reviewed at the May 15, 2019 and in a revised application reviewed at the June 19, 2019 Design Review Committee meeting.

This report addresses the concerns raised by the Design Review Committee and in Planner's Report for the original application. As with the original Planner's Report, it is split into Residential and Commercial portions.

REPORT

Residential – Design Review Commission Notes

1. The façade and roof form of the townhomes cannot be mirrored or repeating; it is suggested to add offsets in the units (no more than 3 per offset)

Offsets have been added. Window placement, stoop canopies, doors, and gables have changed so that no more than two identical or mirrored facades are adjacent.

Roof forms have not changed and are still all side-gabled. Permitted roof forms are flat, pyramidal, side-gabled, or shed. No more than three adjacent one-family attached units shall have the same roof form.

2. Mechanical features must be included and show screening

Compliant.

3. No GBG windows to be used; must provide window and window trim dimensions

Plans identify window brand but still do not describe the type of simulated divided light used.

Window and window trim dimensions have been provided, and the window specifications are compliant.

4. Plans must include building numbers and a light next to the doors

Plans include placeholder spaces for building numbers. Lights above doors are shown.

5. Provide roof shingle warranty information that must meet standards

Compliant.

6. Roof overhang will be a minimum of 12" beyond façade

Compliant.

7. Provide a landscape plan that shows sidewalk connecting units to commercial area and each unit to the sidewalk to meet ADA requirements. Landscape plan must include details of the wall and screening to be used along the Central Avenue portion of the property

Landscape plan shows sidewalk connecting units to commercial area and each unit to the sidewalk. Screening wall location and details are included on plans.

Residential – Proposed Design Review Exception

8. A design exception will be provided to allow 26' width on driveway at request of Fire Marshal

Residential – Other Planner's Comments

- The sidewalk along South Central Avenue must have a clear area of 6' and a landscape area of 5' between the clear area and the street. Existing sidewalk has a 5.25' clear area and a landscape area behind the sidewalk, which is not compliant. Use of the existing sidewalk will require a design exception.
- A design exception is required to allow the expanded pedestrian walkway to serve in place of the required sidewalk along Willingham Drive.
- A design exception is required to permit the townhomes to face away from the adjacent public sidewalk along South Central Avenue.

Commercial – Design Review Commission Notes

1. Building heights must be at least 24' tall

Compliant.

2. Provide building numbers on plan

Compliant.

3. Must include information on material and look of proposed screening wall along Central Avenue

Material and look of the proposed screening wall are included in the landscape plan.

4. Upgrade landscape plan to include street trees

Compliant.

5. Sidewalk shown on landscape plan must wrap from Colville side to rear parking area

Compliant.

6. Provide plans to include mechanical features and screening

A/C units shown on roofs. Screening is not provided.

7. Provide height and material of dumpster screening for all dumpsters

Compliant.

8. Provide pedestrian scale streetlights

Compliant.

9. Awnings must have square aluminum tubing frame

Compliant.

10. Commercial properties must use full depth brick

Compliant.

Commercial – Proposed Design Review Exception

11. Exception to allow for 5' sidewalk along Colville Avenue to allow for 6' width in parking area for safety concerns.

12. An exception to not require hardscape along Colville Avenue frontage to allow for more plantings and maintain the park like feel that is desired.

13. A design exception will be given to allow for a 26' driveway at the request of the Fire Marshal.

Commercial – Other Planner's Comments

- A design exception is required to allow the commercial buildings to not enfront along South Central Avenue.
- A design exception is required to use existing sidewalk along South Central Avenue.
- A design exception is required to allow the expanded pedestrian walkway to serve in place of the required sidewalk along Willingham Drive.
- A landscape buffer 10' wide is required between the parallel parking spaces and the sidewalk along South Central. The existing buffer is under 10', which is not compliant and will require a design exception.
- Storefronts are compliant with the "storefront and awning" treatment.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: MAR 20 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Miller Lowry Developments Contact Number: 478-952-6662
Applicants Address: 2964 Peachtree Rd. NW. Suite 540 Atlanta, GA 30305
E-Mail Address: robertas@millerlowry.com Zoning Classification: Village
Address of Proposed Work: Situated between Central, Colville Ave & Williamsburg Dr.
Parcel ID# (INFORMATION MUST BE PROVIDED): 14012700020429, 14012700020379
Property Owner: Hapeville Dev. Authority Contact Number: 404-328-8130
Project Description (including occupancy type): See attached narrative.

Contractors Name: Miller Lowry Developments Contact Number: 770-903-4422
Contact Person: Rob Rojas Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

3/19/19
Date

Project Class (check one):

☐ Residential

☐ Commercial

☒ Mixed-Use Development

Project Type:

☒ New Commercial Construction

☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☒ Site Plan, Grading & Landscaping

☐ New Single Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: \$67,700

Total Square Footage of existing building: N/A → raw land

Estimated Cost of Construction: \$ 5.7 million

List/Describe Building Materials on the exterior of the **existing** structure: N/A → raw land

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Townhomes = fiber cement board + batten siding, fiber cement
lap siding, asphalt roof shingles, aluminum clad windows,
aluminum gutters + downspouts
Commercial = brick veneer, hard coat stucco, fabric awnings

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Robert Rojas RR swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ *N/A - Vornace* Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Philip Projes

Printed Name

[Signature]

Signature

3/20/19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

All that parcel of land lying in and being located in Land Lot 98 and 127 of the 14th District, Fulton County, Georgia, and being more particularly described as follows:

Commencing at a 1/2 inch capped rebar set at the southwest quadrant of the intersection of Central Ave and Colville Ave, said capped rebar being the true point of beginning (POB).

Thence leaving said POB, S 01° 12' 25.9" W for a distance of 215.6095 feet to a point on a line.

Thence, N 73° 02' 33.1" W for a distance of 153.8800 feet to a point on a line.

Thence, N 08° 10' 44.9" E for a distance of 5.7000 feet to a point on a line.

Thence, N 72° 56' 24.1" W for a distance of 406.1516 feet to a point on a line.

Thence, N 17° 16' 55.5" E for a distance of 10.0437 feet to a point on a line.

Thence, N 73° 14' 01.5" W for a distance of 94.5067 feet to a point on a line.

Thence, N 72° 45' 36.0" W for a distance of 49.9771 feet to a point on a line.

Thence, N 10° 05' 03.5" E for a distance of 104.7466 feet to a point on a line.

Thence, N 65° 51' 37.7" E for a distance of 59.9364 feet to a point on a line.

Thence, N 65° 53' 01.3" E for a distance of 97.4780 feet to a point on a line.

Thence, S 78° 08' 45.4" E for a distance of 36.0818 feet to a point on a line.

Thence, S 69° 13' 19.6" E for a distance of 50.0000 feet to a point on a line.

Thence, N 20° 46' 40.4" E for a distance of 15.0000 feet to a point on a line.

Thence, S 69° 45' 39.2" E for a distance of 77.7820 feet to a point on a line.

Thence, S 68° 50' 14.8" E for a distance of 49.8439 feet to a point on a line.

Thence, S 68° 57' 42.6" E for a distance of 200.3277 feet to a point on a line.

Thence, S 68° 48' 41.0" E for a distance of 49.9678 feet to a point on a line.

Thence S 69° 16' 47.1" E a distance of 77.0059 feet to a 1/2 inch rebar set, said rebar being the true point of beginning.

Said parcel of land contains 3.255 acres (141,786.66 square feet).

2964 Peachtree Rd. NW
Suite 540
Atlanta, GA 30305

March 20, 2019

Community Service Department
3474 North Fulton Avenue
Hapeville, GA 30354

To whom it may concern,

Miller Lowry Developments respectfully requests your positive consideration for the attached Design Review Committee Application. Our intent is to develop "The Village Walk at Hapeville", a new +/- 3.25 acre mixed-use community, located at the gateway to Hapeville. The specific property is nestled between Central Avenue, Colville Avenue, and Willingham Dr. just east of I-85. Our proposed site plan includes 20 townhomes and approximately 7,132 sf of boutique commercial space, with the townhomes being no taller than 2.5 stories each.

Since our original submittal to staff on 12.11.18 for site plan approval, Miller Lowry has made significant changes to the site plan design and architecture to address staff's comments, and or concerns, along with designing a site that works well with the City's current characteristics. Much thought has been put into the plan in making the project an extension of the commercial developments to the east of the site across from Colville Avenue, while also making the residential portion of the site an extension of the residential neighborhoods south of the site across Willingham Dr.

Each townhome will have a 2 car garage accessed by a rear drive aisle and all front entry facades will face a Village Green that preserves many of the existing trees on site. The intent of the Village Green concept is to conserve the openness of the site, by not overwhelming the site from a density perspective. Additional amenities to the residents will be a pervious walking path around the Green and a common area firepit, not to mention the walkable retail options nearby.

The commercial space will be in two single-level buildings located along the eastern border of the site and will incorporate architecture that compliments the immediate areas buildings.

Miller Lowry Developments will be submitting to the Board of Appeals for approval of 4 total variances including: waving the sidewalk requirement for Willingham in order to conserve trees and the sites topography, decreasing the required distance between buildings from 20' to 10' which we already have approval from the Fire Marshall on, decreasing the commercial off street

parking from 36 to 32 parks, and lastly reducing the building height on the commercial portion to 18'.

Sincerely,

A handwritten signature in blue ink, consisting of stylized, cursive letters that appear to be 'ML' followed by a flourish.

Miller Lowry Developments



2964 Peachtree Rd. NW
Suite 540
Atlanta, GA 30305

March 19, 2019

To Whom It May Concern,

This letter is to serve that the Development Authority of Hapeville, GA is the property owner of Parcel Identification Numbers: 14012700020429, 140127000379. The Development Authority is aware that Miller Lowry Developments is applying for a Design Review Committee for the property located at the Parcel ID Numbers above.

Sincerely,
Robert Rojas

Miller Lowry Developments

Agreed to and accepted by current owners:

A handwritten signature in blue ink, appearing to read "Katrina Bradbury", is written over the printed name.

Katrina Bradbury (Chairman of The City of Hapeville DDA):









07.10.19	D.R.C. REVISION 3
07.02.19	D.R.C. REVISION 2
06.14.19	D.R.C. REVISION 1
03.20.19	D.R.C. APPLICATION
DATE	DESCRIPTION

PROJECT

VILLAGE WALK AT
HAPEVILLE
LAND LOTS
89 & 127, 14TH DIST.
CITY OF HAPEVILLE
FULTON CO.
GEORGIA

NUMBER 18030

START 01.22.2019

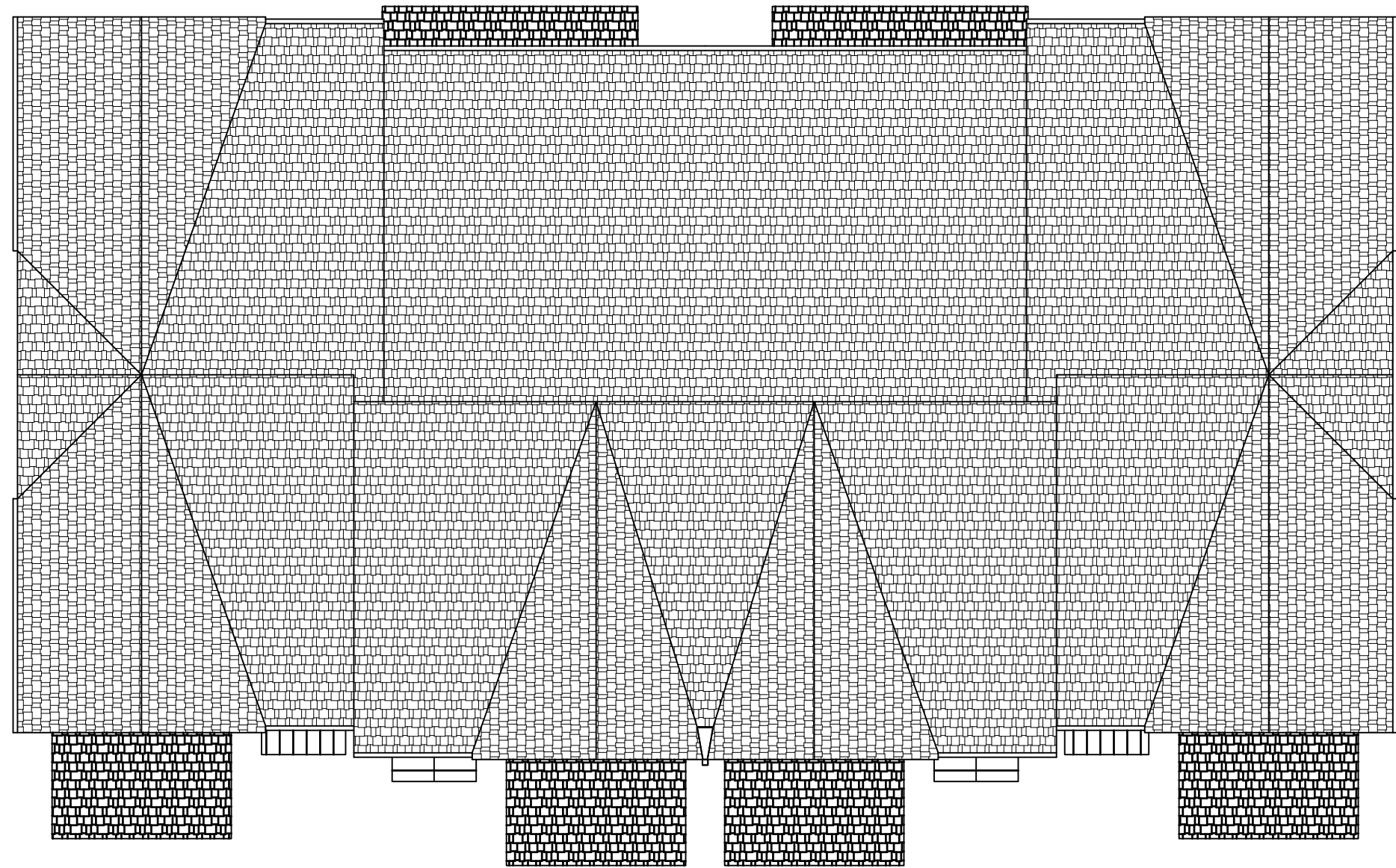
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CHECKED JC

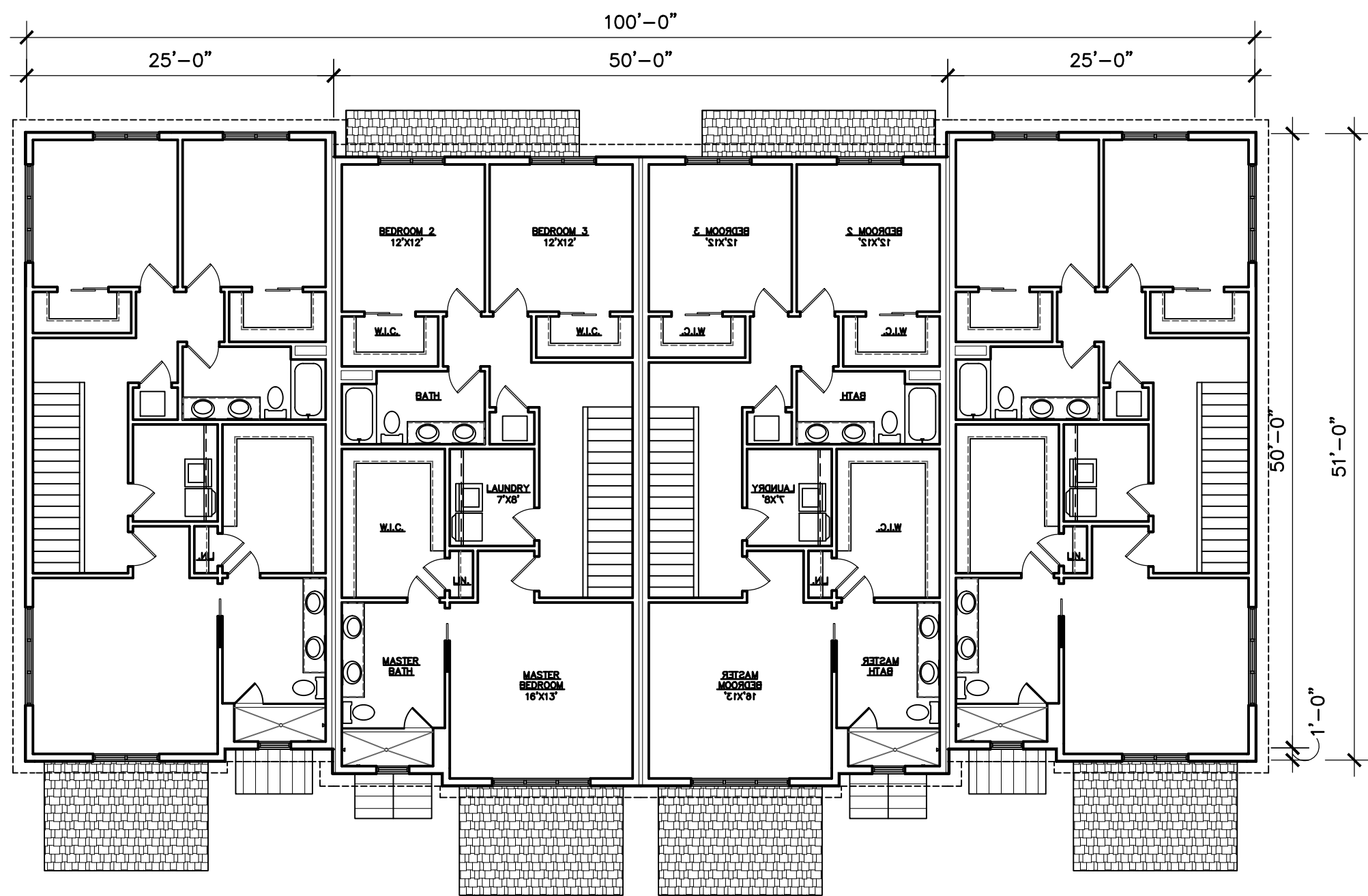
TITLE
Building
Plans

SHEET

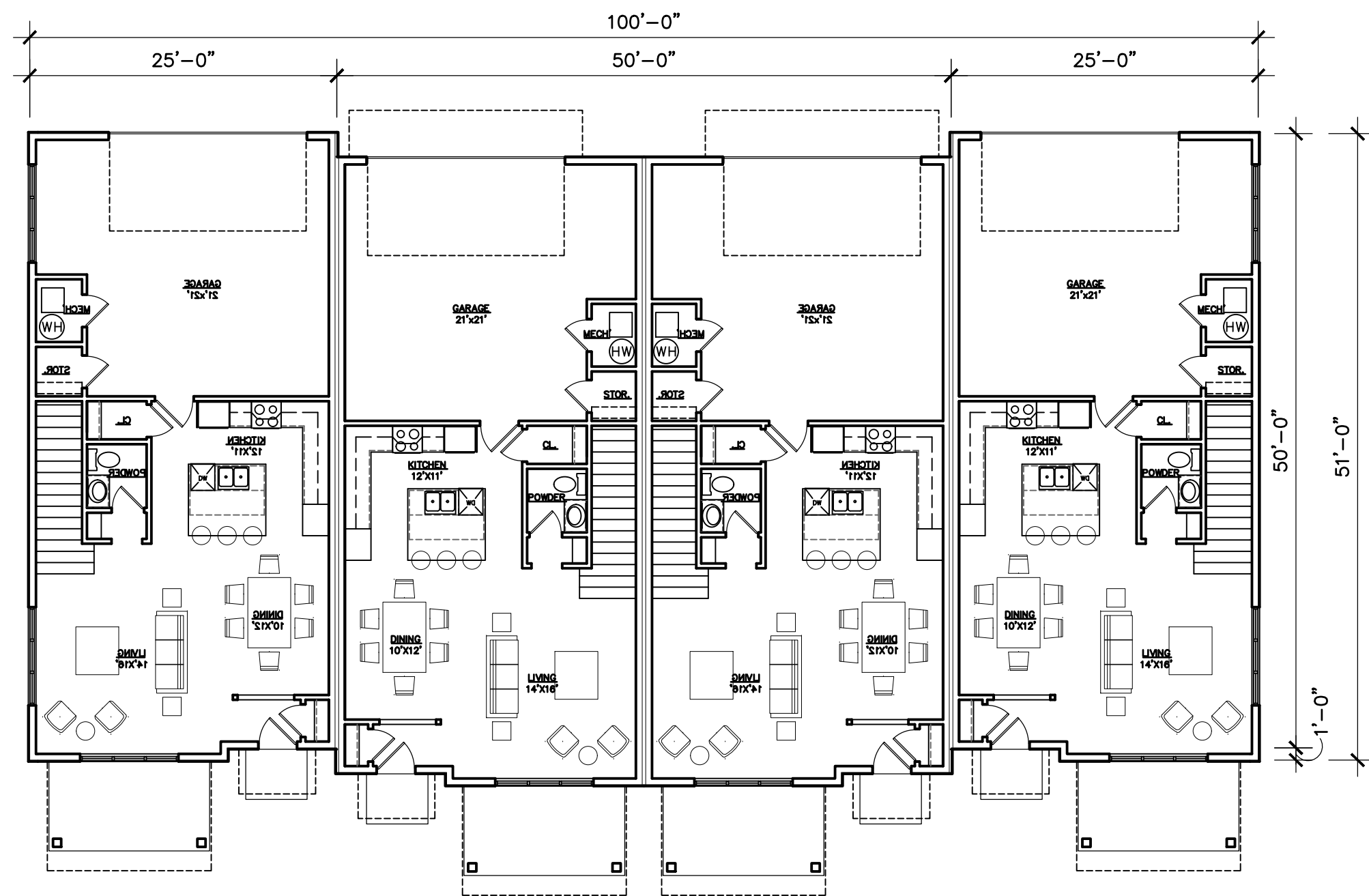
A101



plan 3 ROOF PLAN
3/32"=1'-0" A101 FOUR UNIT BLDG



plan 2 SECOND FLOOR PLAN
3/32"=1'-0" A101 FOUR UNIT BLDG



plan 1 FIRST FLOOR PLAN
3/32"=1'-0" A101 FOUR UNIT BLDG

10.19	D.R.C. REVISION 3
02.19	D.R.C. REVISION 2
14.19	D.R.C. REVISION 1
20.19	D.R.C. APPLICATION
DATE	DESCRIPTION

PROJECT

VILLAGE WALK AT
HAPEVILLE
LAND LOTS
89 & 127, 14TH DIST.
CITY OF HAPEVILLE
FULTON CO.
GEORGIA

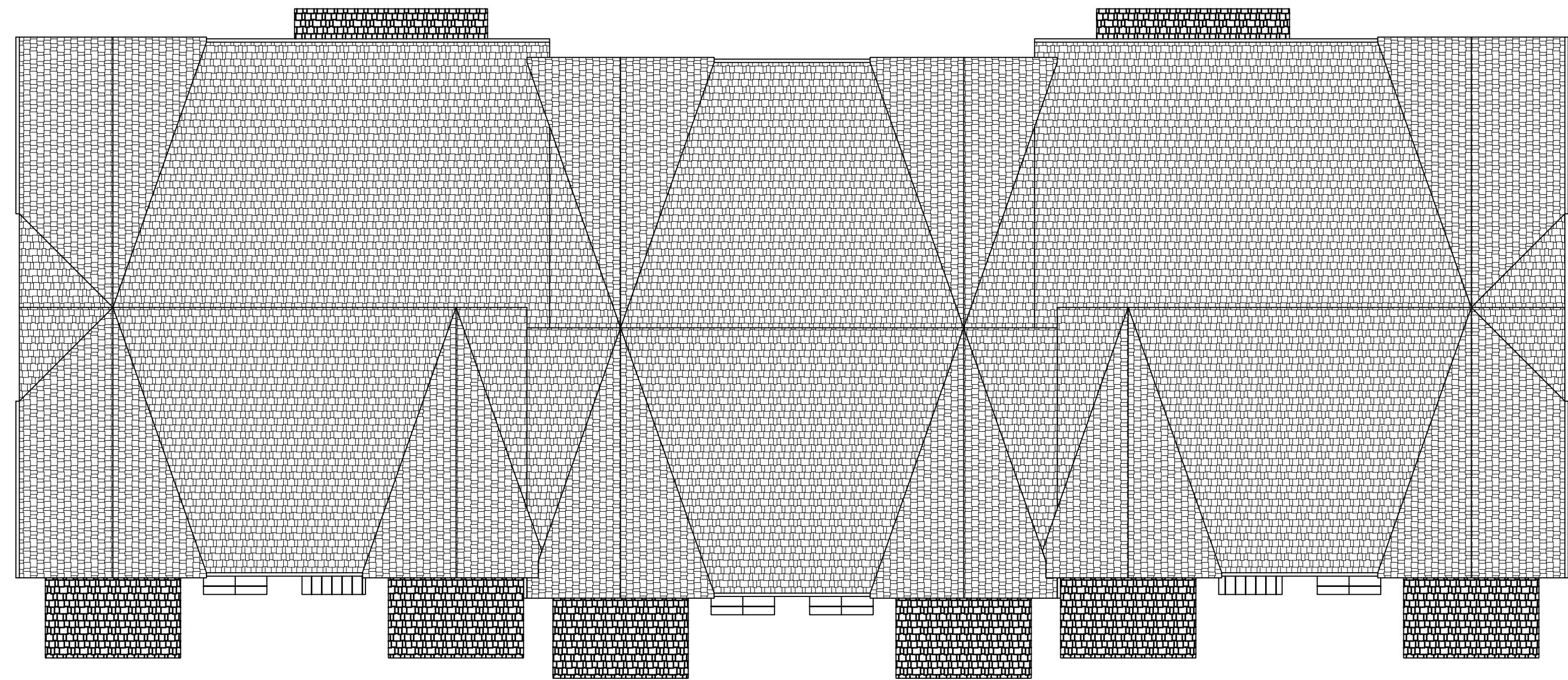
NUMBER 18030

TART 01.22.2019

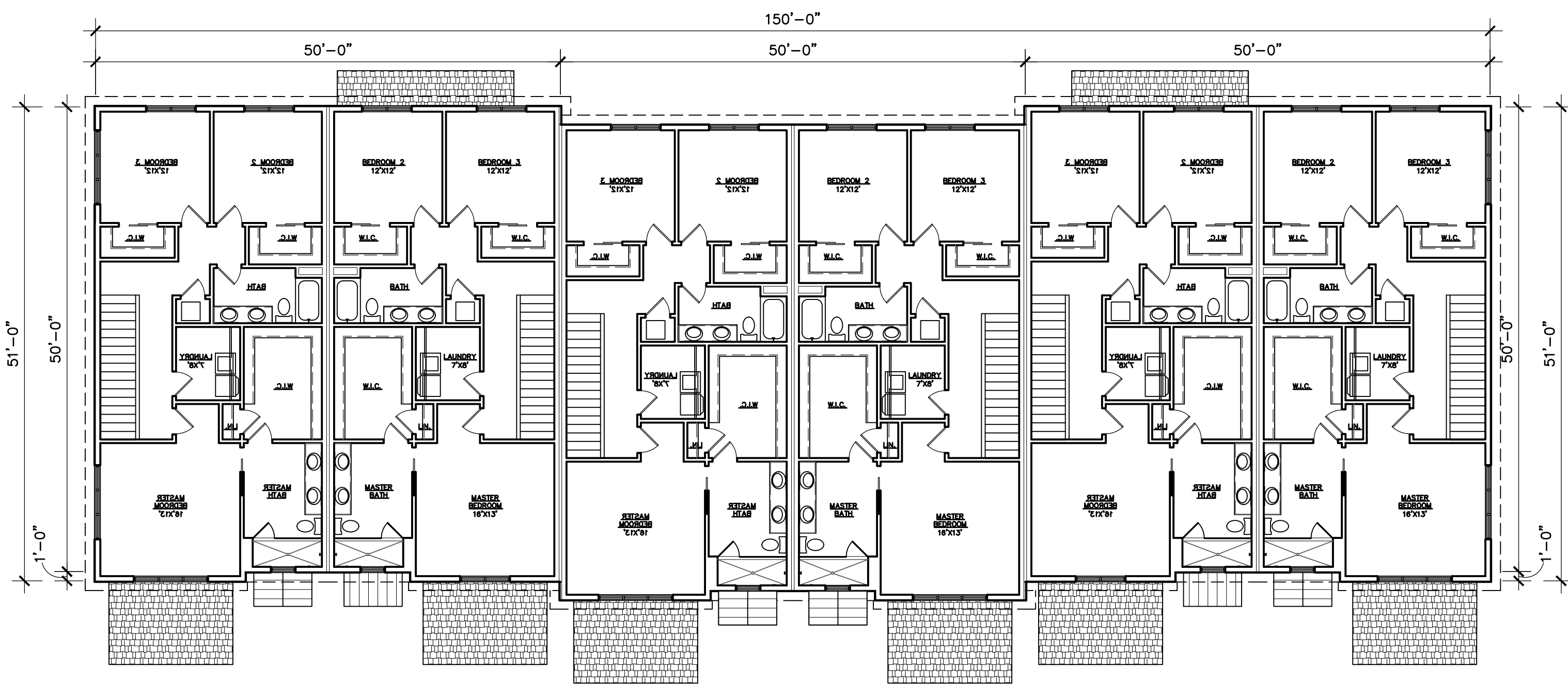
RAWN	NK
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CHECKED JC

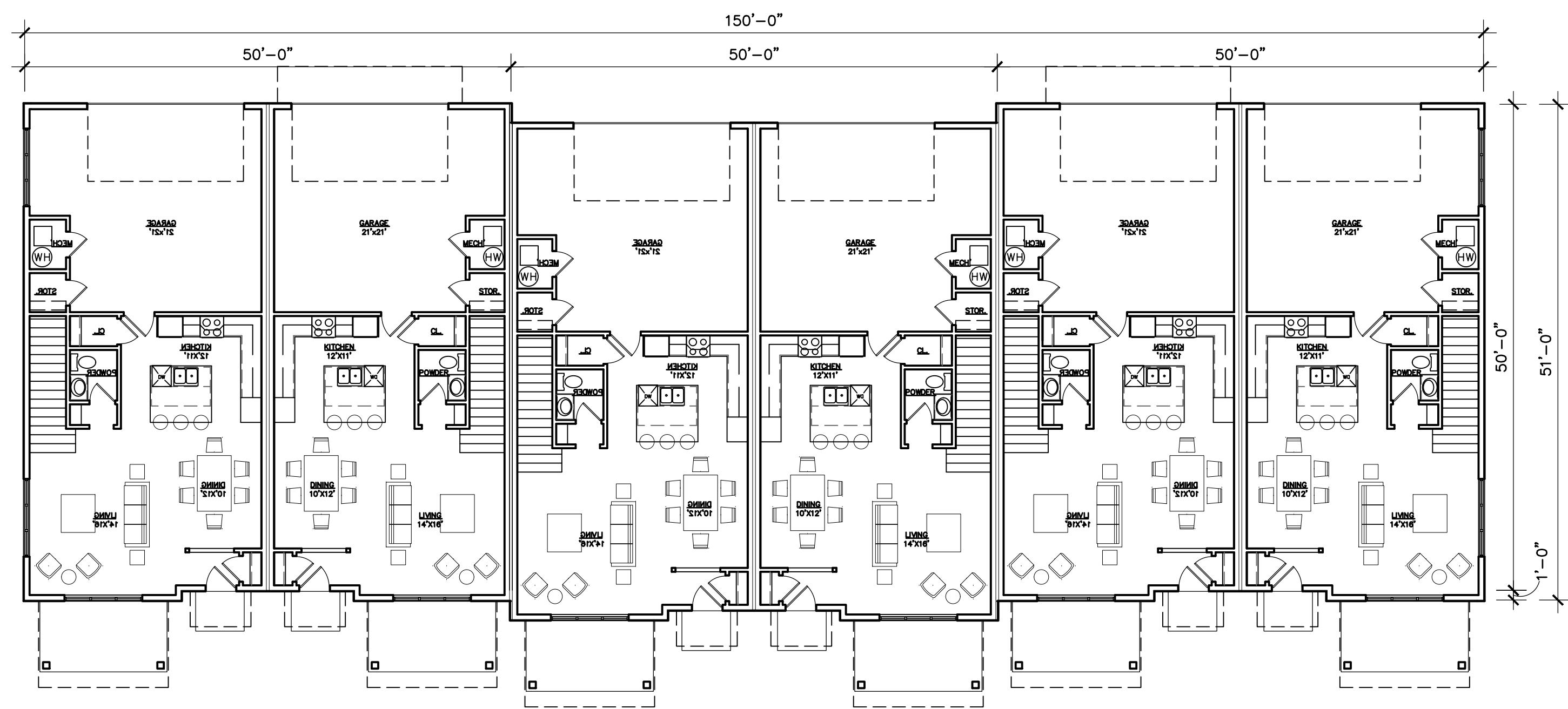
TITLE
Building Plans

HEET

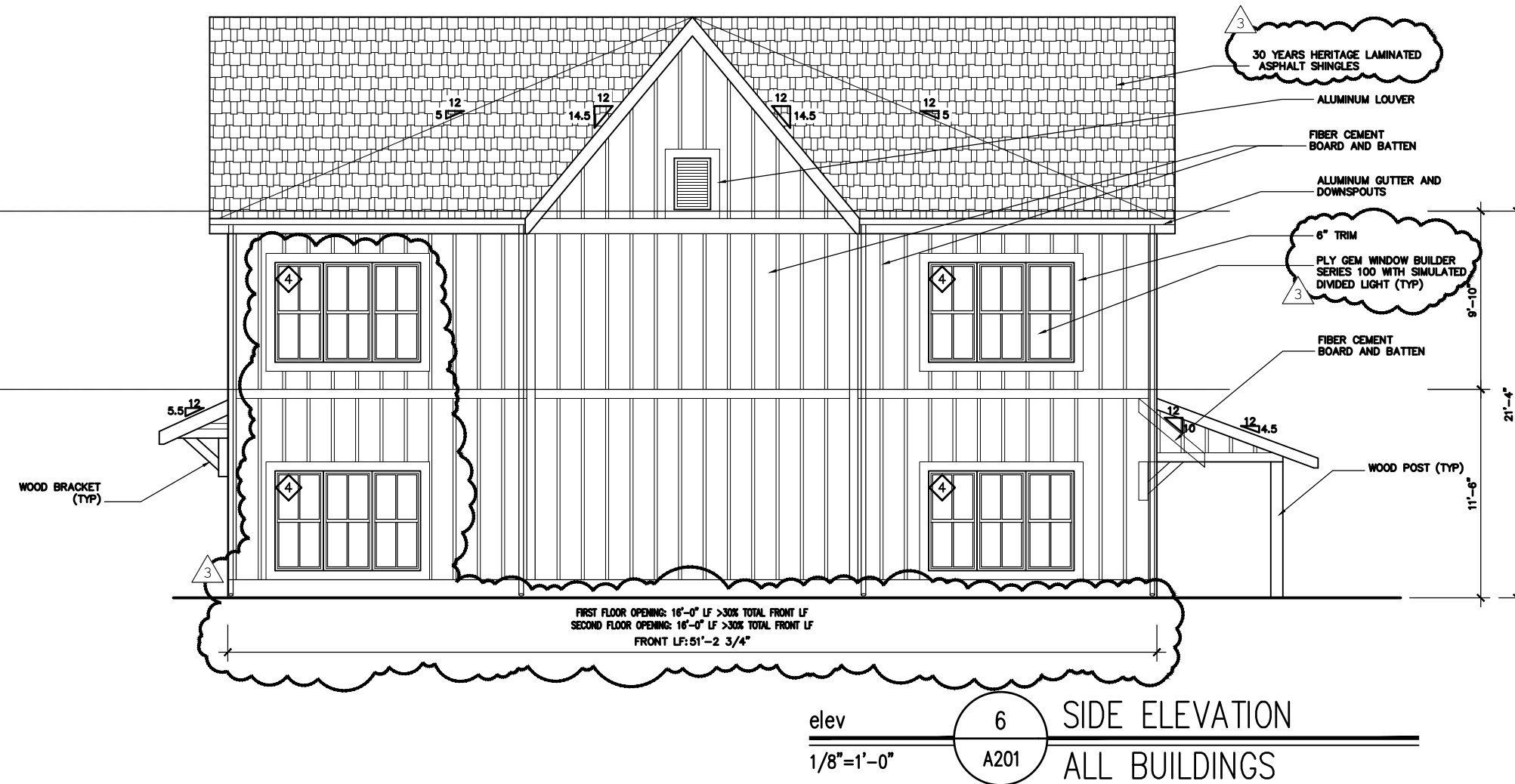
plan  ROOF PLAN
3/32"=1'-0" SIX UNIT BLDG

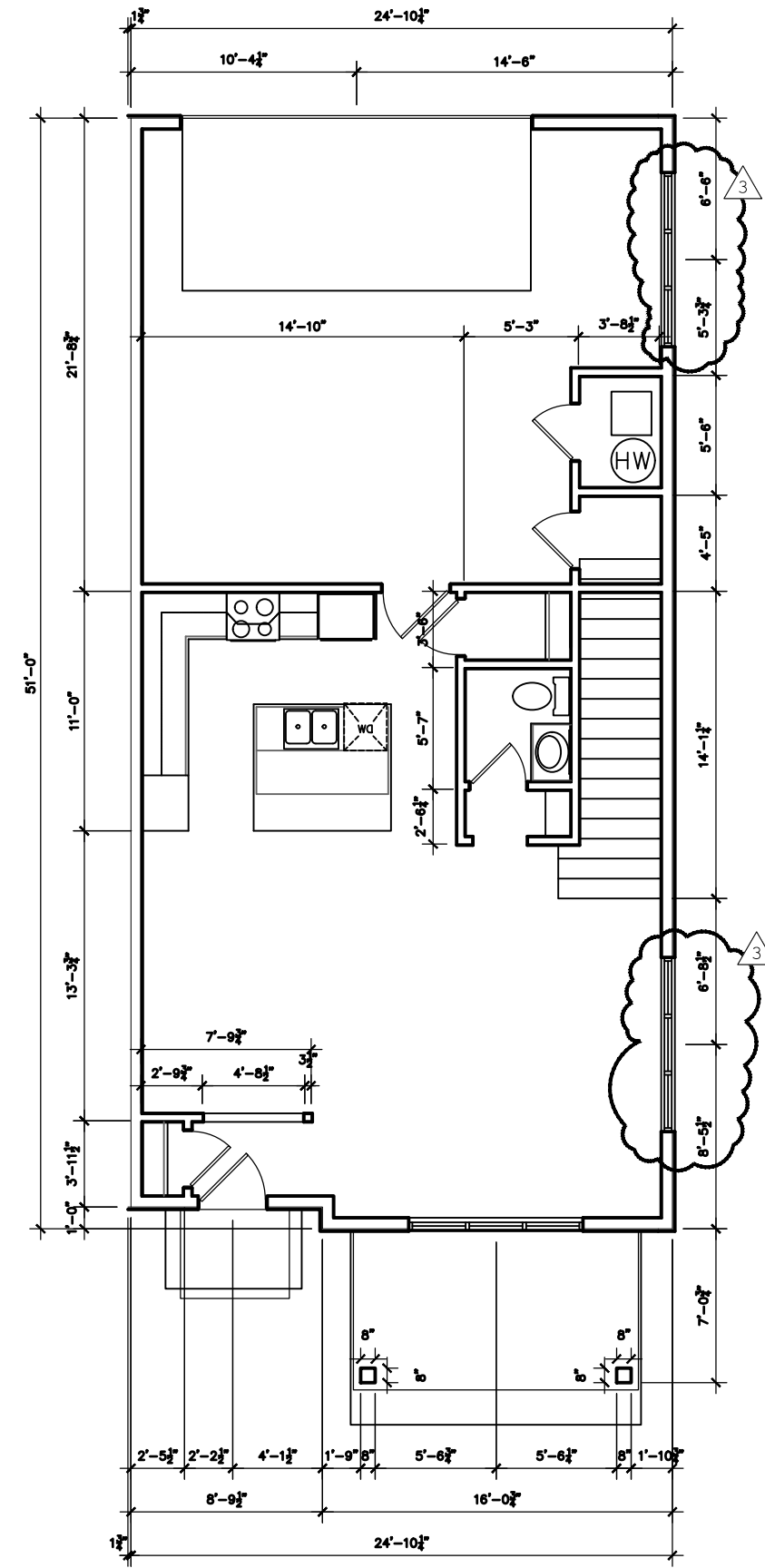


plan 2 SECOND FLOOR PLAN
3/32"=1'-0" A102 SIX UNIT BLDG

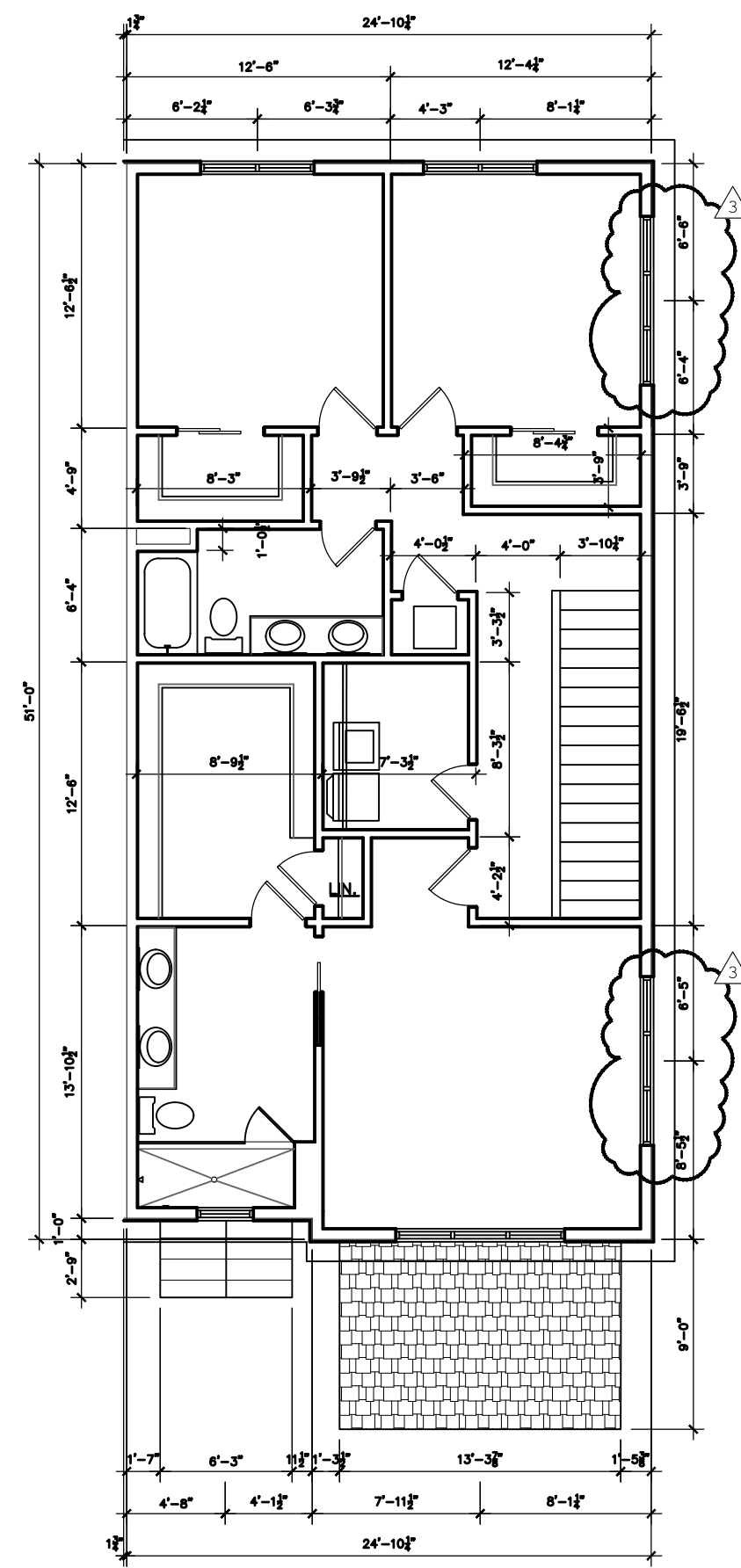


plan  1 FIRST FLOOR PLAN
3/32"=1'-0" A102 SIX UNIT BLDG

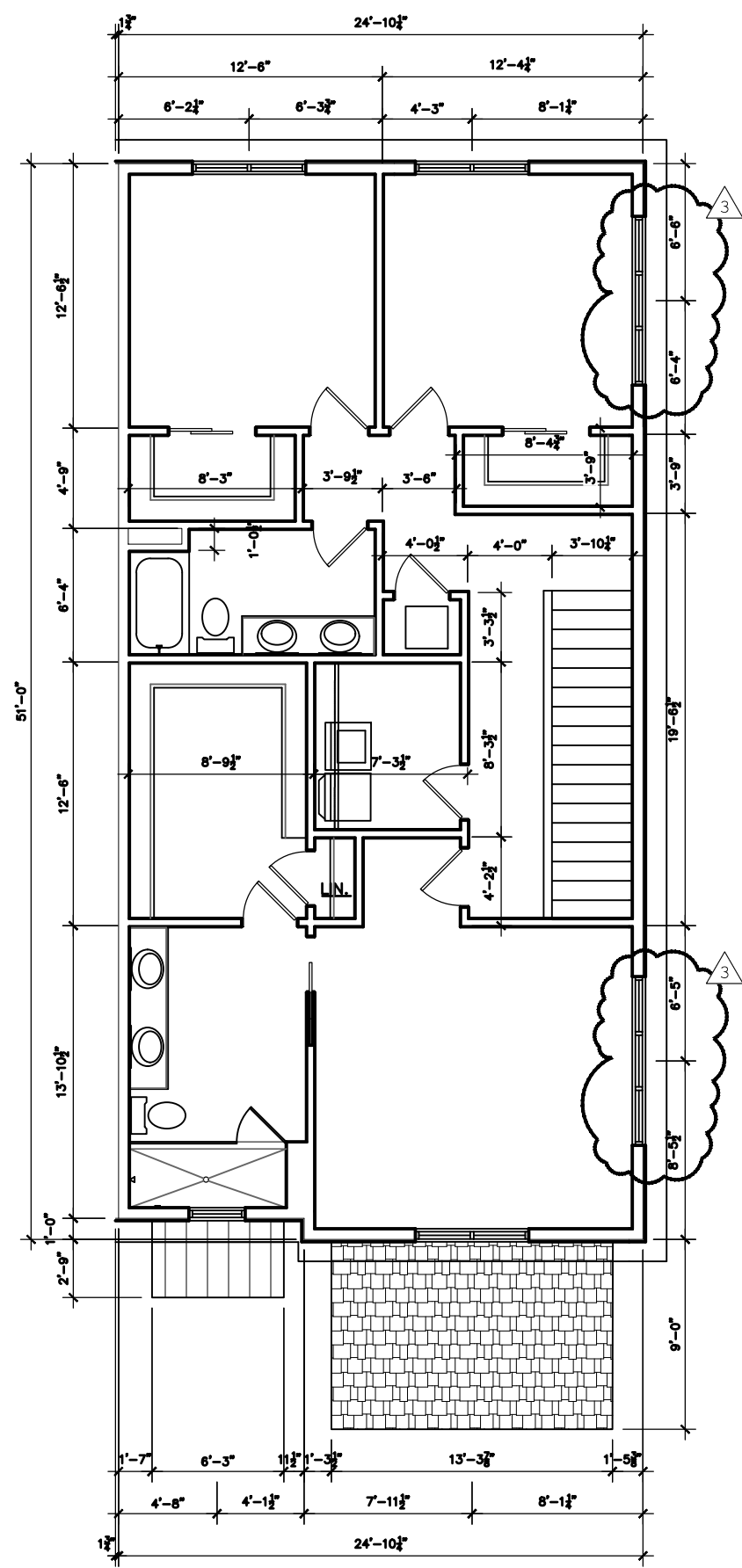




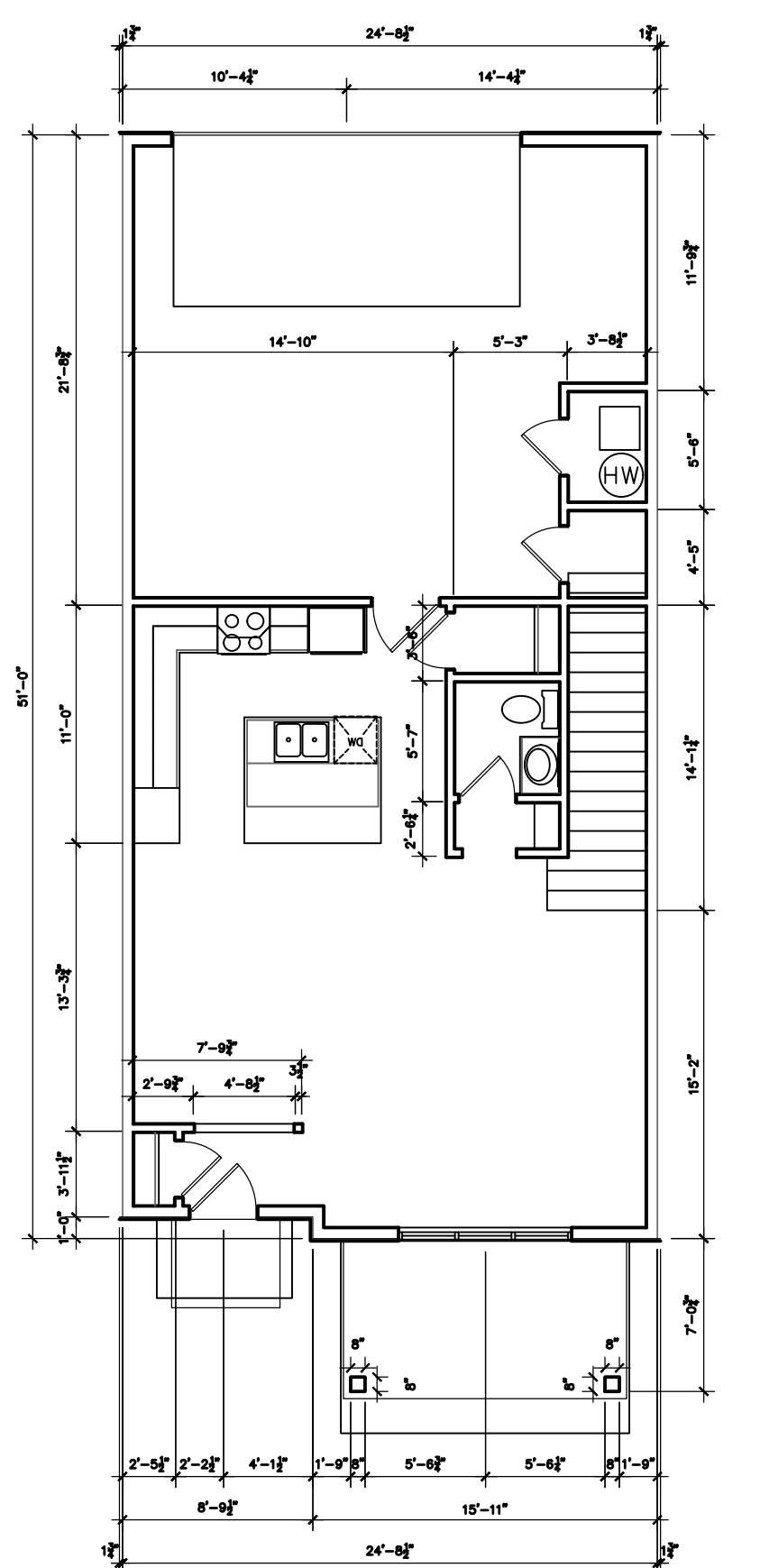
plan 6 FIRST (END UNITS)
1/8"=1'-0" A501 FLOOR PLAN



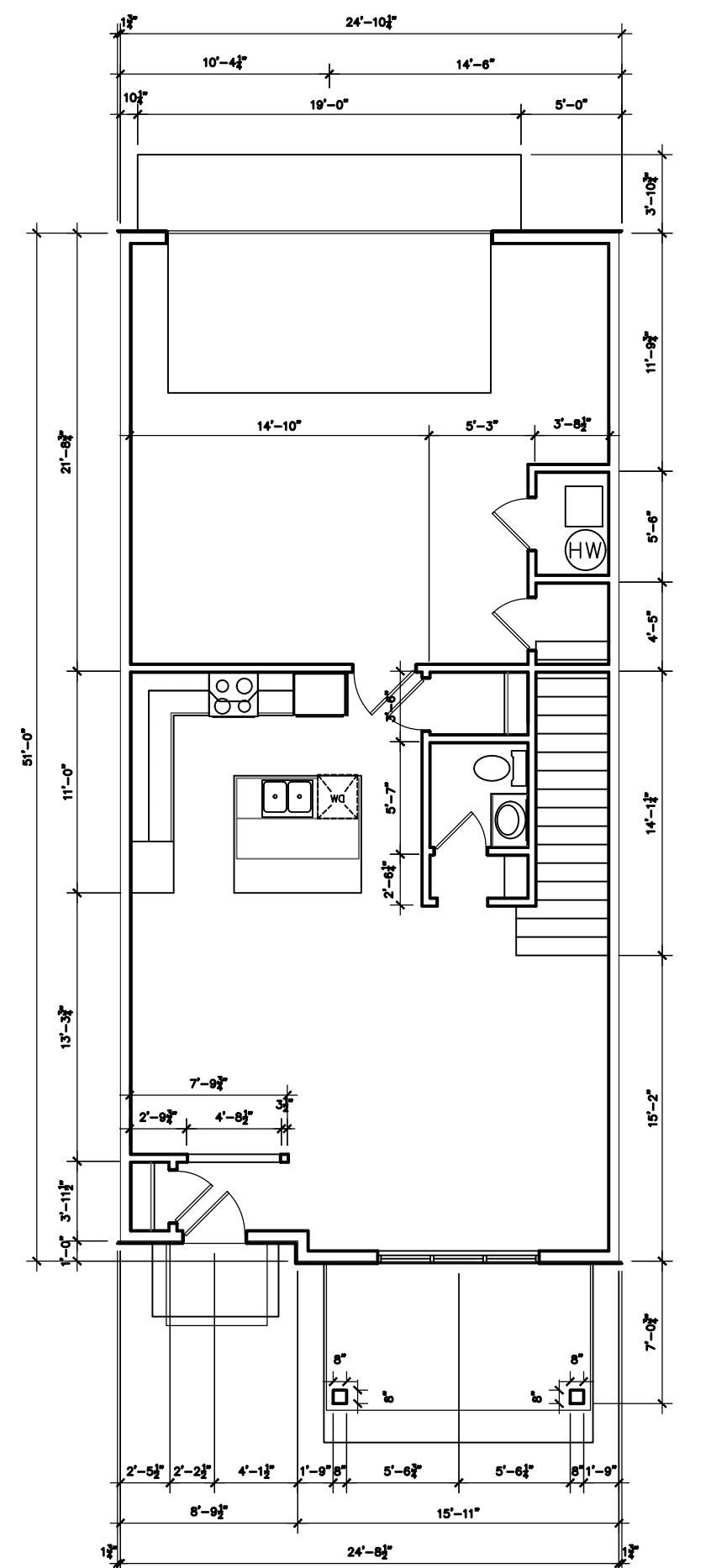
plan 7 FIRST (END UNITS A)
1/8"=1'-0" A501 FLOOR PLAN



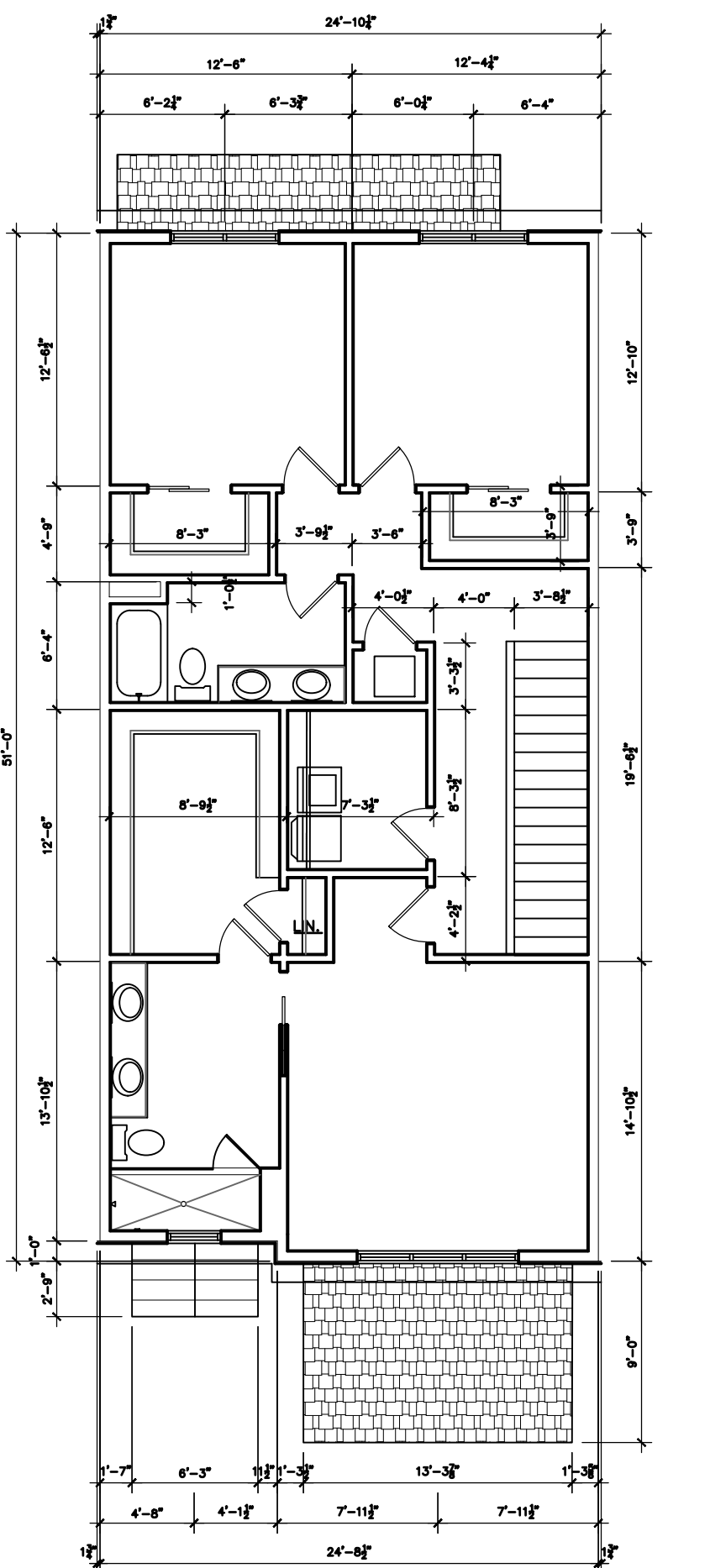
plan 8 SECOND (END UNITS B)
1/8"=1'-0" A501 FLOOR PLAN



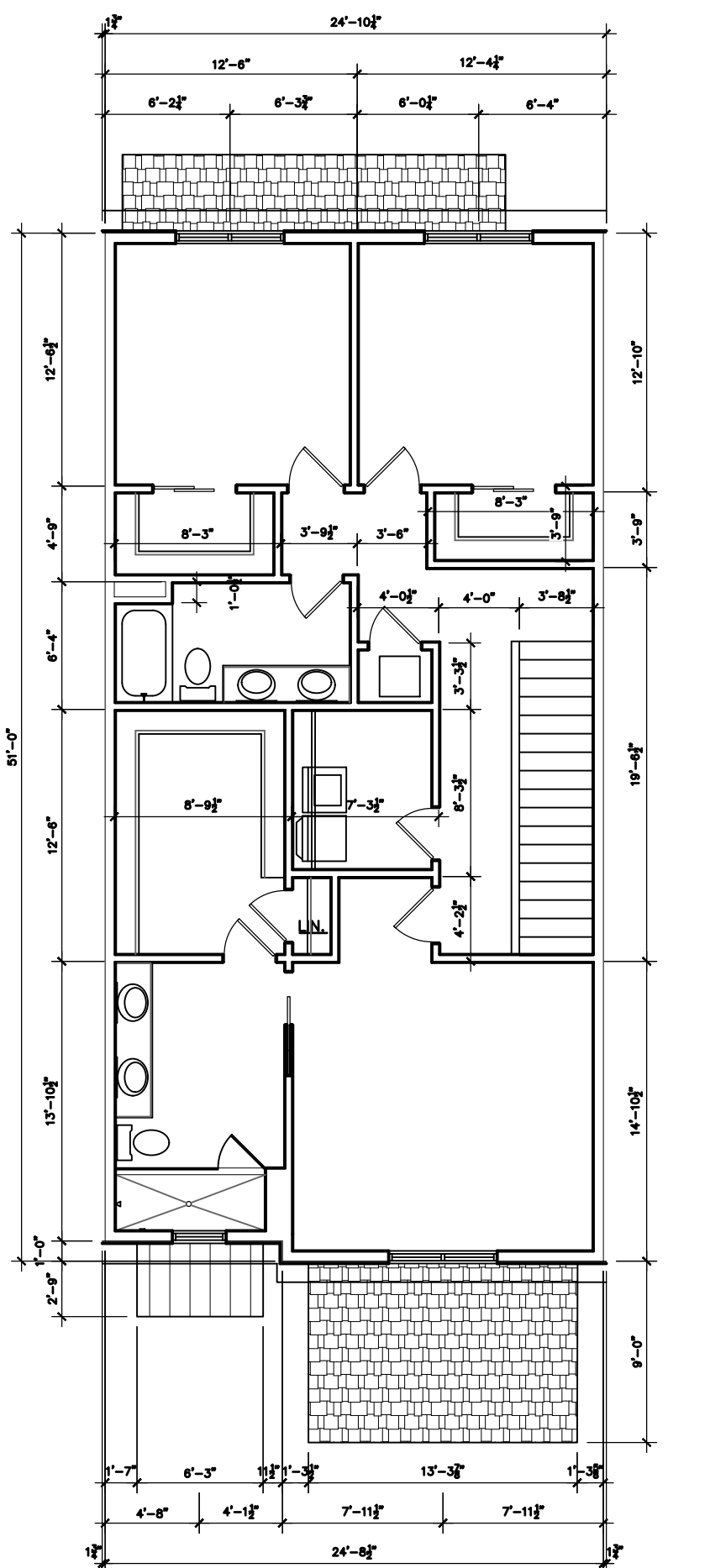
plan 1 FIRST (MIDDLE A)
1/8"=1'-0" A501 FLOOR PLAN



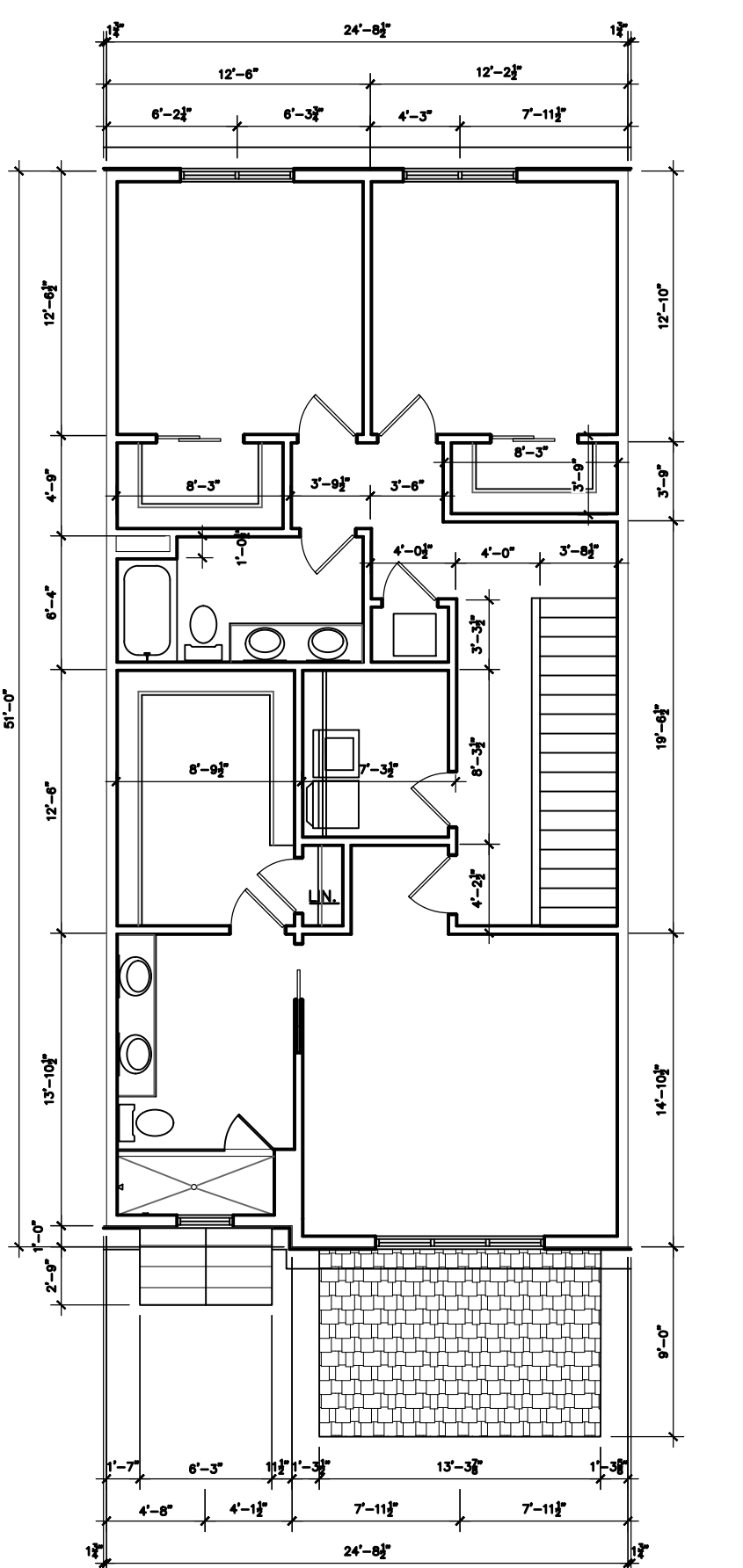
plan 2 FIRST (MIDDLE B)
1/8"=1'-0" A501 FLOOR PLAN



plan 3 SECOND (MIDDLE A)
1/8"=1'-0" A501 FLOOR PLAN



plan 4 SECOND (MIDDLE B)
1/8"=1'-0" A501 FLOOR PLAN



plan 5 SECOND (MIDDLE C)
1/8"=1'-0" A501 FLOOR PLAN

[illegible]

07.10.19	D.R.C. REVISION 3
07.02.19	D.R.C. REVISION 2
06.14.19	D.R.C. REVISION 1
03.20.19	D.R.C. APPLICATION
DATE	DESCRIPTION

VILLAGE WALK AT
HAPEVILLE
LAND LOTS
89 & 127, 14TH DIST.
CITY OF HAPEVILLE
FULTON CO.
GEORGIA

NUMBER 18030

START 01.22.2019

DRAWN NK

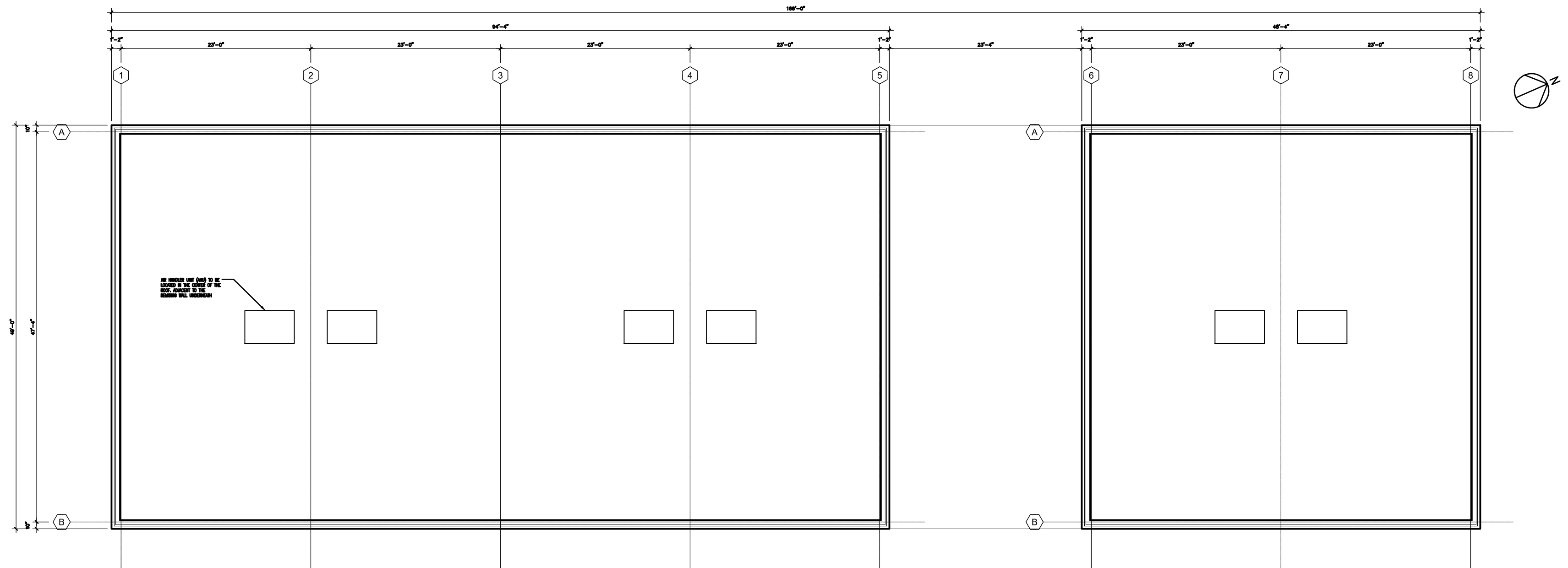
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TITLE

Retail Buildings
Plans

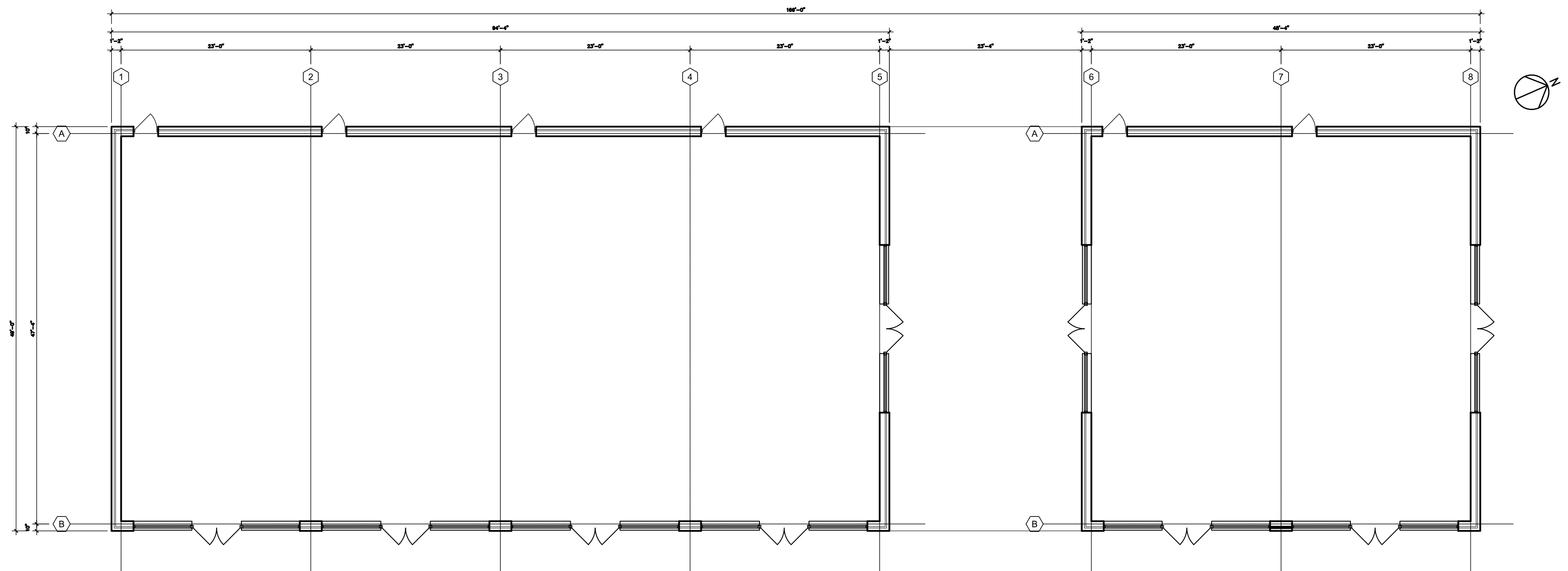
SHEET

A102



plan 4 COMMERCIAL 1
3/2"=1'-0" A102 ROOF PLAN

plan 3 COMMERCIAL 2
3/2"=1'-0" A102 ROOF PLAN



plan

3/2"=1'-0"

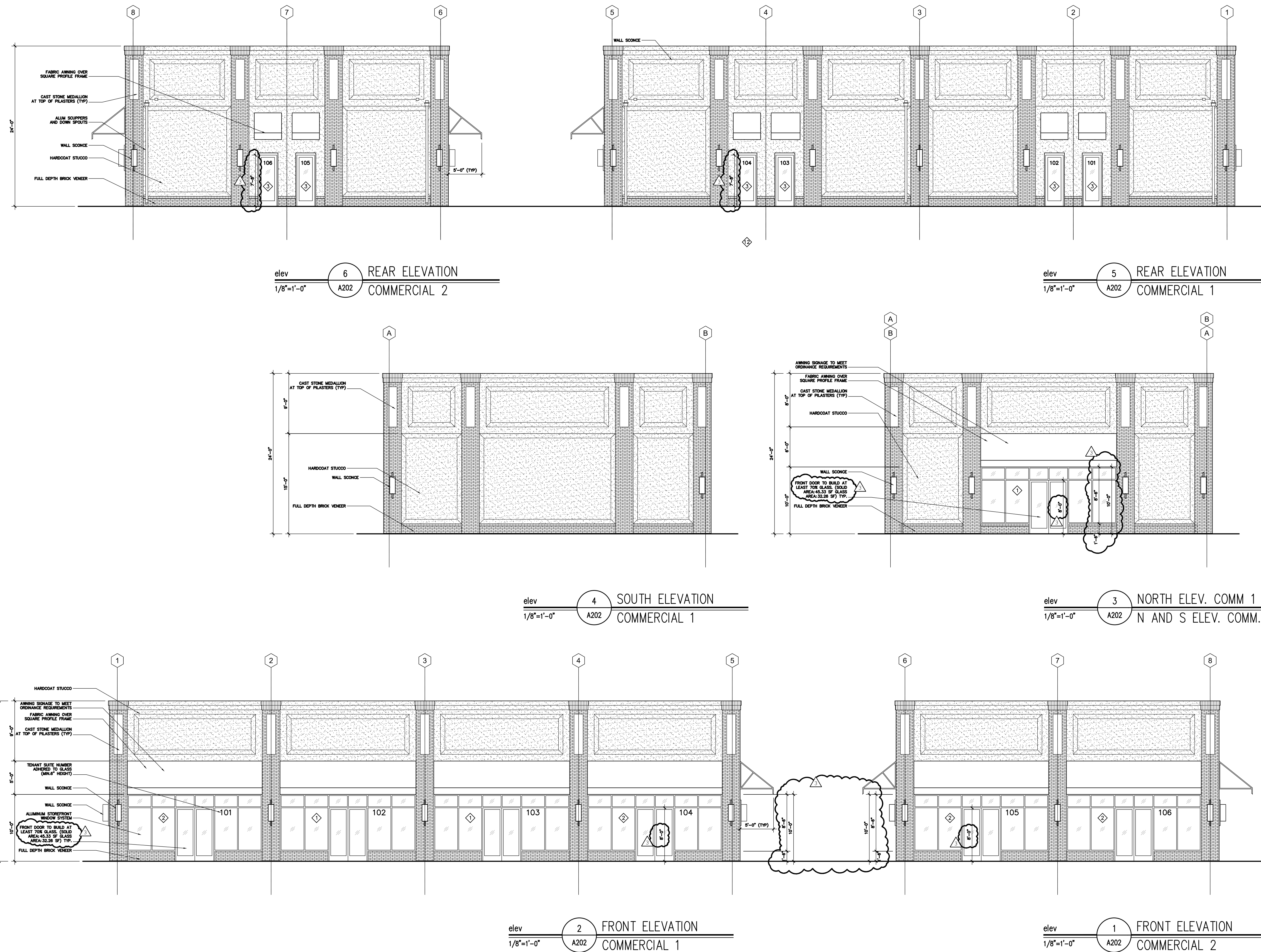
2

A102

COMMERCIAL 1

PLAN

plan 1 COMMERCIAL 2
3/2"=1'-0" A102 PLAN



NOTE: VARIANCE REDUCTION FROM 24 FOOT MINIMUM

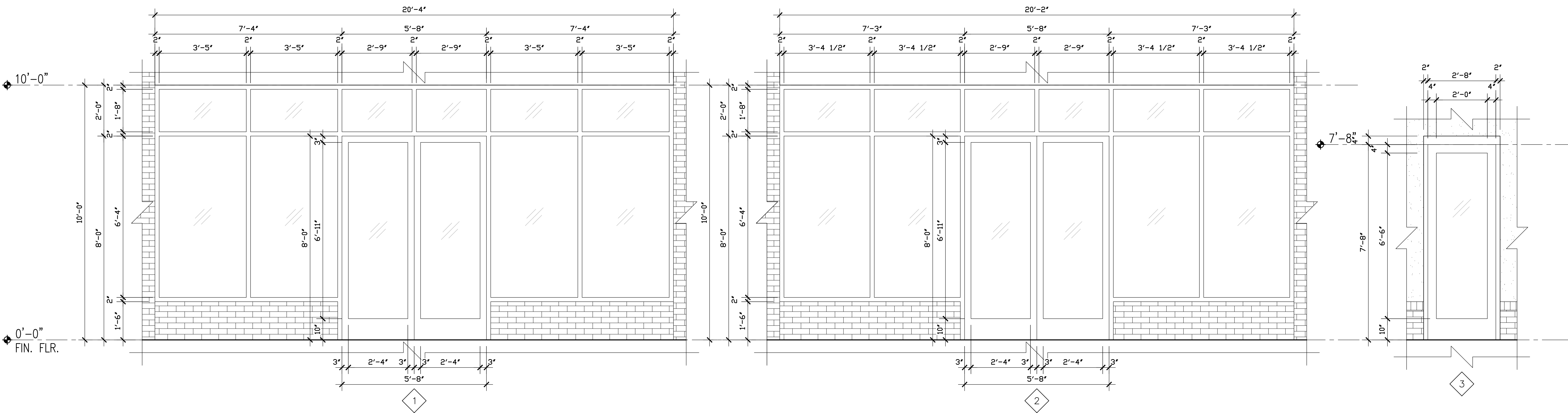
07.10.19	D.R.C. REVISION 3
07.02.19	D.R.C. REVISION 2
06.14.19	D.R.C. REVISION 1
03.20.19	D.R.C. APPLICATION
DATE	DESCRIPTION

PROJECT

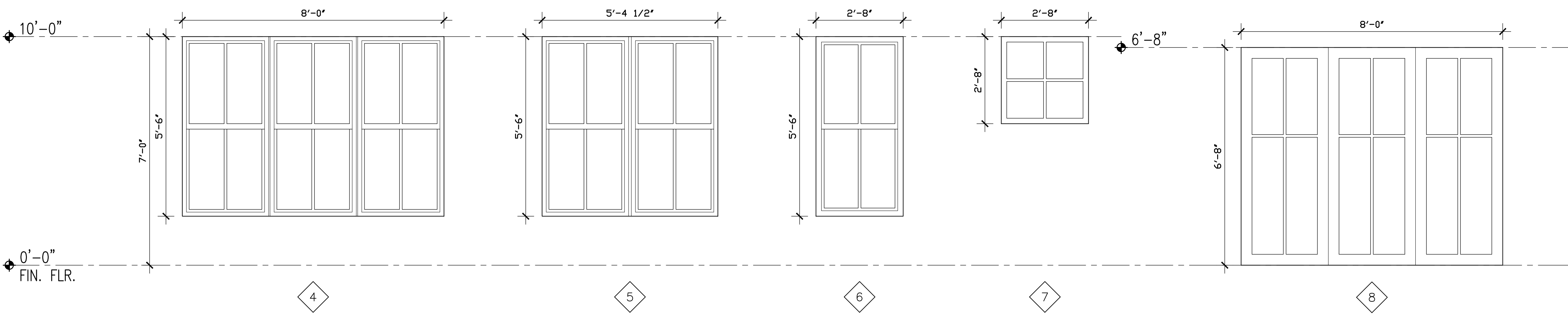
VILLAGE WALK AT
HAPEVILLE
LAND LOTS
89 & 127, 14TH DIST.
CITY OF HAPEVILLE
FULTON CO.
GEORGIA

NUMBER	18030
START	01.22.2019
DRAWN	NK
CHECKED	JC
TITLE	RETAIL ELEVATIONS
SHEET	A202

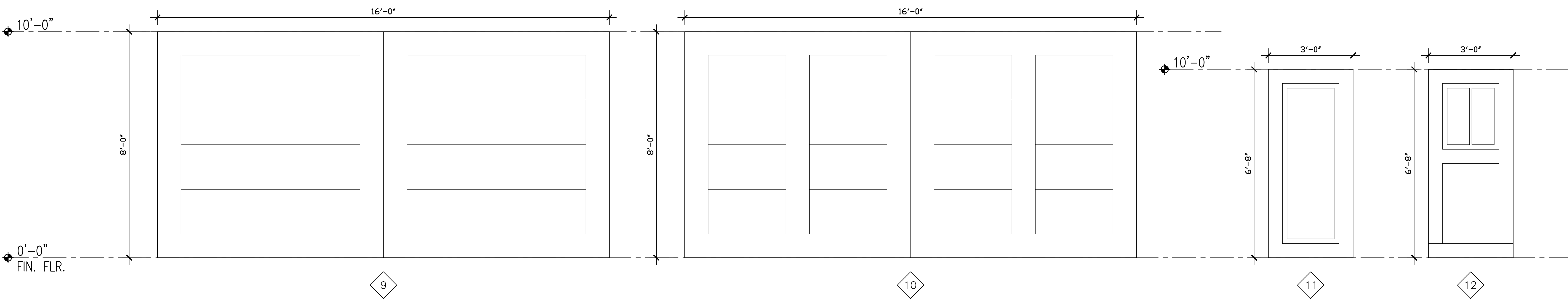
STOREFRONT AND DOOR TYPES



WINDOW TYPES



DOOR TYPES



730 PEACHTREE STREET, NE
STUDIO 325
ATLANTA, GEORGIA 30308
678.244.6270

www.KDCarchitects.com

SEAL

07.10.19	D.R.C. REVISION 3
07.02.19	D.R.C. REVISION 2
06.14.19	D.R.C. REVISION 1
03.20.19	D.R.C. APPLICATION
DATE	DESCRIPTION

PROJECT
VILLAGE WALK AT HAPEVILLE LAND LOTS 89 & 127, 14TH DIST. CITY OF HAPEVILLE FULTON CO. GEORGIA

NUMBER	18030
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START	01.22.2019
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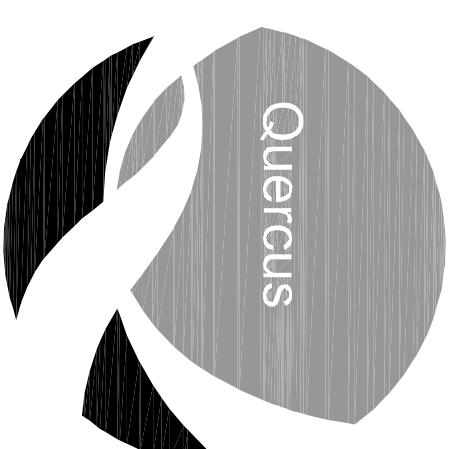
DRAWN	NK
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CHECKED	JC
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TITLE
DOOR AND WINDOWS TYPES

SHEET

A801



**VILLAGE
WALK @
HAPEVILLE**

City of Hapeville, Fulton County
Georgia

**Miller Lowry
Developments, LLC**
2964 Peachtree Rd., NW Suite 540
Atlanta, GA 30305

DATE: 03.06.19

PRINTING		
<u>1</u>	<u>03.06.19</u>	<u>PC review</u>
<u>2</u>	<u>06.15.19</u>	<u>DRC review</u>
<u>3</u>	<u>07.02.19</u>	<u>DRC remarks</u>

CONTRACTOR, LANSBECQ CONTRACTOR PLEASE NOTE

NOTE: ALL ITEMS NOT TAGGED BY THE LANSBECQ ARCHIVE AT SOURCE MUSTERY PRIOR TO INCIDENT BY LANSBECQ CONTRACTOR. CONSULT TAD FOR NUMBER SOURCE INFORMATION. LANSBECQ CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LANSBECQ ARCHIVE A MINIMUM OF THIRTY DAYS IN ADVANCE OF TAGGING FOR SPECIFICATION PURPOSES.

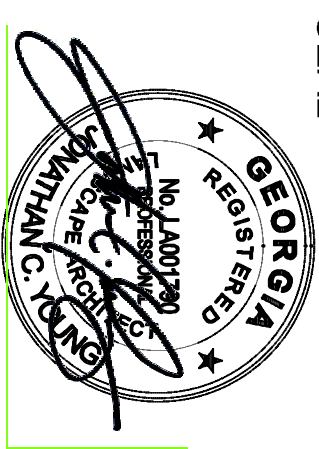
ANY ITEMS NOT TAGGED BY THE LANSBECQ ARCHIVE IN ADVANCE OF INSTALLATION ARE SUBJECT TO REVIEW AND REJECTION BY THE LANSBECQ ARCHIVE. ITEMS NOT TAGGED BY THE LANSBECQ ARCHIVE WILL BE REJECTED AND RETURNED TO THE OWNER OR LANSBECQ ARCHIVE. ITEMS THAT ARE REJECTED AS SPECIFIED BY THE LANSBECQ ARCHIVE

LANSBECQ CONTRACTORS ARE TO REMOVE PHOTOGRAPHS OF ALL SHIPBOARD INCIDENT MATERIAL, TO LANSBECQ ARCHIVE PRIOR TO DELIVERY TO JOB SITE FOR REMOVAL.

SPECIAL IRRIGATION NOTES

- IRIGATION FOR PROJECT TO BE DESIGNED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN, COORDINATION, AND INSTALLATION RELATED TO IRRIGATION ON AND IN THE GROUND PLANE AND MEANWHILE CONTRACTOR IS RESPONSIBLE FOR SUPPLY AND IRRIGATION TO ALL CROPS THEREAFTER.
- ALL TREATMENTS TO RECEIVE SPARKY RAIN AT LEAST TWO WEEKS BEFORE HEADS
- CONTRACTOR IS RESPONSIBLE FOR SUPPLY OF ALL NECESSARY PARTS FOR IRRIGATION INCLUDING BUT NOT LIMITED TO HEADS, SCHEDS, VALVES ETC., WHENEVER THEY ARE CONTINGUOUSLY NEEDED ETC.
- PROTECT ALL PERSONS AND PROPERTIES FROM ANY DAMAGE TO ANY PARTS OF THE IRRIGATION SYSTEM UNDER NEEDED TO BE DONE TO SEE IF AN ON SITE MEET IS NEEDED.

SEAL



DRC

Submission

ALLC Project #: 1915
 Drawn by: JCS
 Reviewed by: JCS

PLANTING PLAN

17-00

FOR CONSTRUCTION

SHEET L7-01

SHEET L7-02

SHEET L7-03

SHEET L7-04

SHEET L7-05

Scale: 1" = 30'-0"

GENERAL LANDSCAPE NOTES

- LANDSCAPE WORK. ALL EQUIPMENT, BUT NOT LIMITED TO, THE SUPPLYING OF TALL PLANT MATERIALS SPECIFIED, THE FURNISHING OF ALL LABOR, EQUIPMENT, WATER, ELECTRICITY, EQUIPMENT, AND ALL MATERIALS CALLED, THE WORK SHALL INCLUDE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CHAIRMAN ASSIGNED QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LAND SUPERVISOR THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE.

- VERIFICATION OF EXISTING CONDITIONS IS THE RESPONSIBILITY OF THE LC. THIS INCLUDES BUT IS NOT LIMITED TO: SOIL

- THE LC SHOULD BE COMPLETELY FAMILIAR WITH LANDSCAPE PLANS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES OR POTENTIAL PROBLEMS ETC. SHOULD BE MADE KNOWN TO THE LANDOWNER TO COMMENCEMENT OF WORK.
- ALL RESPONSIBLE AFTERGUARDS ARE TO BE TAKEN IN ORDER TO PROTECT EXISTING STRUCTURES, PLANTINGS, FURNISHINGS, LAWN AND LANDSCAPING. THE LC IS RESPONSIBLE FOR DAMAGE THAT OCCURS AS A RESULT OF NEGLIGENCE.
- EXISTING OR PROPOSED DRAINAGE PATTERNS ARE NOT TO BE DISTURBED BY THE LC IN A WAY THAT IS INCONSISTENT WITH THE LANDSCAPE PLANS.

- THE LC IS RESPONSIBLE FOR COORDINATING WORK TO BE PERFORMED WITH THE WORK OF OTHER SUBCONTRACTORS ON THE SITE, INCLUDING SCHEDULING AND PHYSICAL INTERFERENCE.

- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE AMERICAN STANDARDS FOR NURSERY STOCK AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE INC.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. ALL CONTAINERS AND TREE CALIPER SIZES ARE MINIMUM.
- THE LC MUST CONFIRM THE AVAILABILITY OF ALL SPECIFIED PLANT MATERIAL PRIOR TO THE COMMENCEMENT OF WORK. THE LC SHALL ARRANGE FOR APPROVAL FOR PLANT MATERIALS BY THE LA VIA FIELD VISIT/IMAGING AND OR SUBMISSION OF PLANT SAMPLES AT THE DISCRETION OF THE LA.

- ALL PLANT MATERIAL SHALL BE SUBJECT TO REPLACEMENT AT THE JOB SITE BY THE APPLICATOR TO INSTALLATION, WHEN DELIVERED PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS. THE LA RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE LC TO REPLACE DEFECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REMEDIATED AND FOUND TO BE ACCEPTABLE. THE LC SHALL REMOVE DEFECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 72 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.

- NO PLANT SUBSTITUTIONS WILL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LA. ANY SUBSTITUTIONS MUST BE SUBMITTED IN WRITING ACCOMPANIED BY PICTURES OR SAMPLES FOR APPROVAL BY THE LA PRIOR TO INSTALLATION.

- ALL SHRUB BEDS SHALL BE TILLED TO MINIMUM DEPTH OF 12". PLANTING BEDS TO BE SEPARATED FROM LAWN AREAS WITH A DEEP EXCAVATED FRENCH. THE FRENCH SHALL HAVE A PLANTED FACE AGAINST THE LAWN AREA, AND A GENTLY INVERTED EDGE LEADING INTO THE SHRUB BED.
- THE LC IS RESPONSIBLE FOR ENSURING THAT THE SOIL IN ALL PLANTED AREAS IS OF AN APPROPRIATE TYPE AND CONSISTENCY FOR PLANTING AND AT THE CORRECT PH. THE LC IS RESPONSIBLE FOR FIELD VERIFICATION OF SOIL SUITABILITY, AND ANY NECESSARY AMENDMENTS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LA.

- THE LANDSCAPE CONTRACTOR SHALL TEST PROJECT SOILS TO VERIFY THAT THE SOILS MEET ANY ACCEPTABLE CRITERIA FOR PROPOSED GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND PLANTERS. THE LANDSCAPE CONTRACTOR SHALL CORRELATE THE LOCATION AND PROCESSION OF EXISTING ON-SITE SAMPLES WITH THE LANDSCAPE ARCHITECT. REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH SAMPLE INFORMATION, INCLUDING THE SOIL SAMPLES, SHALL BE RETURNED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO DELIVERY AND INSTALLATION OF DRAINAGE IN PLANT BEDS AND PLANTERS. VERTICAL

- ALL PLANTING BEDS SHALL BE STAKED AND/OR PAINTED BY THE LC FOR APPROVAL BY THE LA PRIOR TO PLANT INSTALLATION. THERE SHALL BE NO ASSOCIATION WITH STAKING OR PAINTING APPROVAL BY THE LA PRIOR TO PLANT INSTALLATION.

- ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED OUTLINES SHALL NOT BE OBSTRUCTED AND SHALL BE SMOOTH AND FLOWING. IF TREES ARE LOCATED OUTSIDE PLANTING BEDS IN SOD AREAS, MAINTAIN A MINIMUM 4" WIDE OFFSET.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.

- THE LC IS RESPONSIBLE FOR DETERMINING THE AMOUNT OF SOD OR SEED REQUIRED TO INSTALL LAWN AREAS ACCORDING TO THE LANDSCAPE PLANS. ANY ADDITIONAL SOD OR SEED FOR AREAS ADDED TO THE PLANS DURING THE INSTALLATION PROCESS SHALL BE PROVIDED BY THE LC AT A MUTUALLY AGREED UPON AQ. FT. /UNIT COST. AREAS TO BE SOODED OR SEEEDED SHALL BE AMENDED PER SOILS REPORT TO PROVIDE REQUIRED NUTRIENTS AND SOIL PH OF BETWEEN 6.0 AND 7.0.

GENERAL GRADING NOTES

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING THE WORK.
- THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL EARTHWORK AND SITE GRADING NECESSARY TO ACHIEVE THE FINISHED GRADES NOTED ON THE DRAINING PLANS ACCORDING TO THE SPECIFICATIONS.

- NUMEROUS UNDERGROUND UTILITIES, CONDUIT, SLEEVES, DRAINAGE PIPES, ETC., HAVE BEEN PREVIOUSLY INSTALLED OR SCHEDULED FOR FUTURE INSTALLATION BY OTHERS. CONTRACTOR SHALL CORROBORATE AND WORK CLOSELY WITH OTHER CONTRACTORS, TRADES, AND THE OWNER'S REPRESENTATIVE TO AVOID DAMAGE TO THESE UNDERGROUND AND AT GRADE ELEMENTS. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- FINISHED GRADE IN PLANTING BED AREAS SHALL BE 1" TO 2" BELOW THE FINISHED ELEVATIONS SHOWN FOR ALL LANDSCAPE SURFACES (SEE DETAILS FOR VARIOUS CONDITIONS).

- ALL UTILITIES, STAKES, MANHOLES, OUTFALL STRUCTURES, SWALES AND OTHER STRUCTURES OR TOPOGRAPHICAL FEATURES SHALL BE FIELD-DATED AND VERRIFIED PRIOR TO CONSTRUCTION. NOTIFY THE OWNERS REPRESENTATIVE OF ANY EXISTING UTILITY WHICH NEEDS TO BE RAISED TO MATCH FINISHED GROUND SHOWN IN THE DRAWINGS.
- ALL FILL REQUIRED SHALL BE CLEAN, WELL DRAINING SOIL. FILL SHALL BE CLEAN AND FREE OF ALL MATERIAL, HAZARDOUS TO PLANT GROWTH AND DESTRUCTIVE MATERIAL, SUCH AS ROCKS (LARGER THAN 2" DIA.), COMPACTED CLAY, ROUNDED OR SQUARED MATERIAL, TWIG, ROOTS, BRANCHES, ETC.,...

- CONTOUR OF BERMS SHALL BE SMOOTH, CONTINUOUS AND SLOPE SHALL BE SMOOTH AND EVEN IN TRANSITION AND OF DEPRESSIONS SHALL BE SMOOTH, REGULAR, AND ALL BERMS SHALL HAVE MAXIMUM SIDE SLOPE OF FOUR HORIZONTAL TO ONE (FOUR (1) VERTICAL, ONE (1) HORIZONTAL) UNLESS OTHERWISE NOTED.
- MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 5% (1 IN 20) AND MEET ALL HANDICAP REQUIREMENTS. MINIMUM SIDEWALK SLOPE SHALL BE 1% MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 5% POINTED TOWARD DRAINAGE STRUCTURES.
- ALL PAVEMENT AND LANDSCAPE AREAS OF THE PROJECT SHALL POSITIVELY DRAIN TO DRAINAGE STRUCTURES INSTALLED ON THE SITE GRADING AND CIVIL ENGINEERING PLANS.

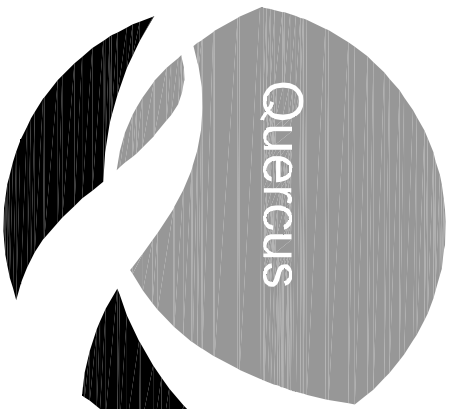
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION PROTECTION AND SLOPE STABILIZATION BY OWNER-APPROVED MEANS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY FENCES, BARRICADES AND SEDIMENT CONTROL DEVICES AS WELL AS EXCAVATING AND REPAIRING ANY DAMAGE WHICH MAY IMPAIR THEIR EFFECTIVENESS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ANY LIMITS OF WORK ABUTTING JURISDICTIONAL BOUNDARIES OR EXISTING WATER BODIES SHALL BE VERIFIED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.

- ## GENERAL SITE LAYOUT NOTES

- CONTRACTOR SHALL FULLY ANALYZE AND HESSE-FITNESS, WITH THE PROJECT PRIOR TO BIDDING THE WORK.
 - REFER SITE LAYOUT DRAWINGS FOR CONSTRUCTION LAYOUT, GEOMETRY OF THE PROJECTS SITE DEVELOPMENT ELEMENTS.
 - REFER TO HARDSCAPE PLANS AND DETAILS AS WELL AS THE STRUCTURAL DOCUMENTS FOR ADDITIONAL LAYOUT INFORMATION.
 - CONTRACTOR SHALL CORROBORATE AND VERIFY ALL POINTS OF BEGINNING AND BENCHMARKS FOR THE SITE WITH THE OWNER'S REPRESENTATIVE AND ARCHITECT PRIOR TO CONSTRUCTION.
 - ATTENTION OF THE OWNERS REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
 - UNLESS NOTED OTHERWISE, THE LIMITS OF CONSTRUCTION SHALL BE AS NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL USE THE DIMENSIONING AND STAKING NOTICES NOTICED ON THE SITE LAYOUT PLANS TO LOCATE ALL LAYOUT POINTS AND BENCHMARKS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND PROTECTION OF THE OWNERS REPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- WHEREVER POSSIBLE, THE CONTRACTOR SHALL COORDINATE THE LAYOUT OF THE PAVEMENT AND PAVEMENT PATTERNS WITH THE LOCATION OF THE DRAIN LINES AND OTHER A GRADE UTILITY ELEMENTS.

FUTURE STAIR CONNECTION TO CITY SIDEWALK TO BE COMPLETED WHEN CITY SIDEWALK IS ESTABLISHED

FUTURE STREETSCAPE DESIGN AND IMPLEMENTATION BY CITY OF HAVESVILLE



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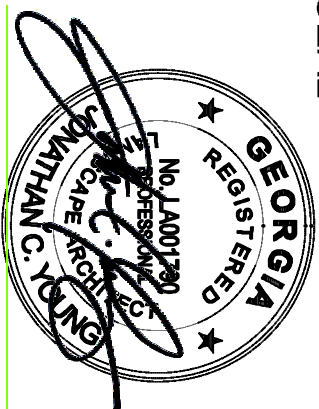
City of Hapeville, Fulton County,
Georgia

Miller Lowry
Developments, LLC
2964 Peachtree Rd., NW Suite 540
Atlanta, GA 30305

DATE: 03.06.19

PRINTING:
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2 06.15.19 DRC review
3 07.02.19 DRC remarks

SEAL



DRC
Submission

PLANTING
PLAN

QU.C Project #: 19157
Drawn by: JCY
Reviewed by: JC

L7-01

FOR CONSTRUCTION

RECOMPENSE TREE SCHEDULE

ABBR.	BOTANICAL NAME	COMMON NAME	COND.	SIZE	NOTES*
TREES					
DECIDUOUS					
ARO-4	Acer rubrum 'October Glory'	'October Glory' Red Maple	B&B	4" cal.	See # below
ONP-4	Quercus natalli 'Ochlocknee'	'Ochlocknee' Nuttall Oak	B&B	4" cal.	See # below
OPH-6	Quercus phellos 'Hightower'	'Hightower' Willow Oak	B&B	6" cal.	See # below
UPE-4	Ulmus parvifolia 'Elmer II'	'Allee Lacebark' Elm	B&B	4" cal.	See # below
EVERGREEN					
TGG-12	Thuja plicata 'Green Giant'	'Thuja 'Green Giant'	Cont	12 ht.	See # below
INS-10	Ilex x 'Nellie R. Stevens'	'Nellie R. Stevens' Holly	Cont	10' ht.	See # below
MVG-6	Magnolia virginiana 'Green Mille'	'Green Mille' Sweetbay Mag.	Cont	6' ht.	See # below
ACCENT					
VAC-8	Vitex agnus-castus	'Chaste Tree'	Cont	8' ht.	See # below
PSK-2.5	Prunus serotina 'Kwanzan'	'Kwanzan' Cherry	Cont	2.5" cal.	See # below
SHRUBS					
DECIDUOUS					
LCB-3	Loropetalum chinensis	'Burgundy' Loropetalum	Cont	3 gal.	See # below
FL-7	Forsythia x 'Intermedia'	'Forsythia'	Cont	7 gal.	See # below
EVERGREEN					
BMG-3	Buxus microphylla 'Green Mini'	'Green Mini' Korean Boxwood	Cont	3 gal.	See # below
BMJ-1	Buxus microphylla 'Winter Gant'	'Winter Gant' Boxwood	Cont	1 gal.	See # below
IP-7	Illicium parviflorum	'Anise'	Cont	7 gal.	4' ht at install
RI-3	Rhaphiolepis indica	'Indian Hawthorne'	Cont	3 gal.	See # below
IVH-3	Ilex virginica 'Henry's Garnet'	'Henry's Garnet' Sweetspirie	Cont	3 gal.	See # below
IVH-7	Ilex virginica 'Henry's Garnet'	'Henry's Garnet' Sweetspirie	Cont	7 gal.	See # below
VOC-7	Viburnum x 'Chindo'	'Chindo' Viburnum	Cont	7 gal.	See # below
NATIVE GRASSES					
MSA-3	Miscanthus sinensis 'Adagio'	'Adagio' Maiden Grass	Cont	3 gal.	See # below

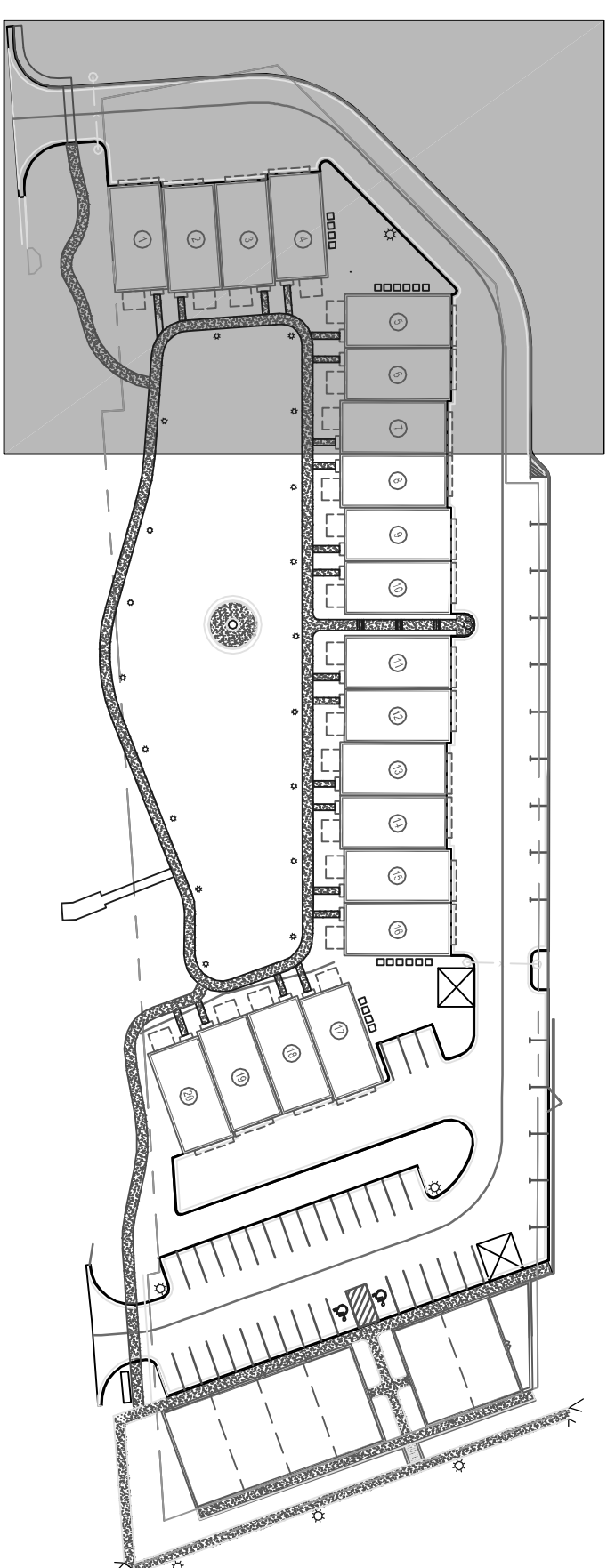
* SEE PLANT SPECIFIC CONDITION NOTES BELOW FOR EACH PLANT AS SPECIFIED

GROUND COVER

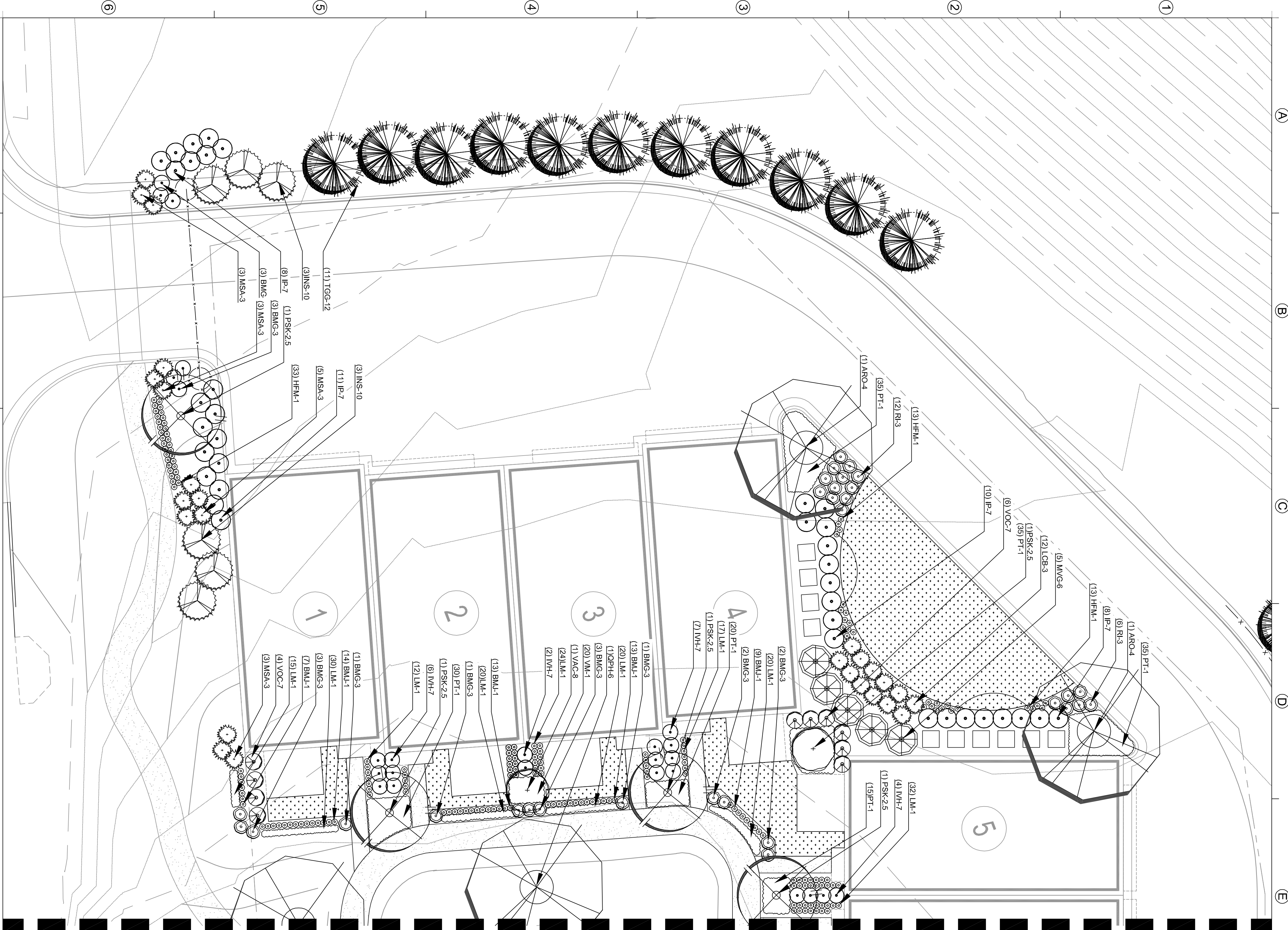
VM-1	Vinca minor	'Periwinkle'	Flat	pot	See # below
PT-1	Pachysandra terminalis	'Japanese Pachysandra'	Flat	pot	See # below
LM-1	Liriodie muscari 'Big Blue'	'Big Blue' Liriope	Cont	1 gal.	See # below
HFM-1	Hemerocallis 'Frodo Me'	'Daylily'	Cont	1 gal.	See # below

PLANT SPECIFIC CONDITION NOTES

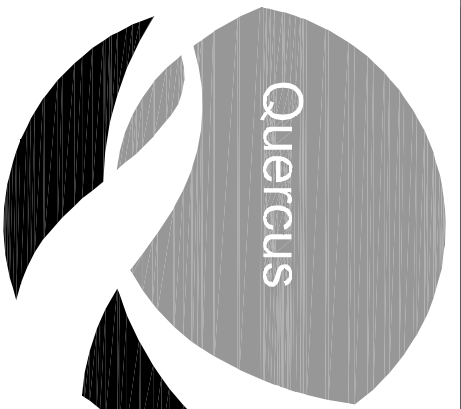
- ALL PLANTS SHALL HAVE **MATCHED** CHARACTERISTICS IN FORM, COLOR, VIGOR, GROWTH HABIT, AND FOLIAGE DENSITY. ANY PLANT THAT DEVIATES SUBSTANTIALLY FROM THE ACCEPTED NORM WILL BE REJECTED ON-SITE.
- ALL LIKE PLANTS SHALL HAVE A SIMILAR CENTRAL GROWTH **LEADER** AT A CONSISTENT HEIGHT ABOVE THE ROOT COLOR WITHOUT ANY VISIBLE DAMAGE. ALL PLANTS WITH A BROKEN OR DAMAGED CENTRAL LEADER WILL BE REJECTED ON-SITE.
- EACH PLANT SHALL HAVE **MULTIPLE TRUNKS** WITH SIMILAR DIAMETER, STRENGTH, VIGOR, AND HABIT. THE PLANT SHALL BE LIMBED UP WITH ACCEPTABLE NURSERY PRUNING PRACTICES TO HIGHLIGHT THE MULTI-TRUNK FORM.
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- ARRANGE THE PLANTS SPECIFIED IN A **HEDGE** FORMATION SO THAT THE FOLIAGE FROM ONE PLANT OVERLAPS THE FOLIAGE OF THE ADJACENT PLANT AFTER 5 YEARS OF GROWTH. GROWTH RATES WILL VARY BY SPECIES AND MICRO-CLIMATE.



KEY PLAN



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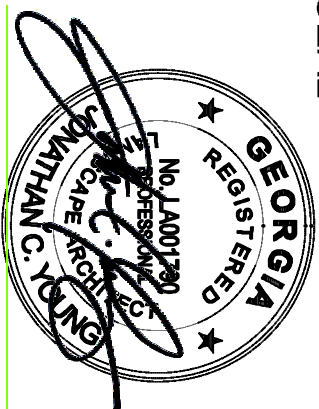
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SEAL



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PLANTING
PLAN

QULC Project #: 19157
Drawn by: JCY
Reviewed by: JC

L7-03

RECOMPENSE TREE SCHEDULE

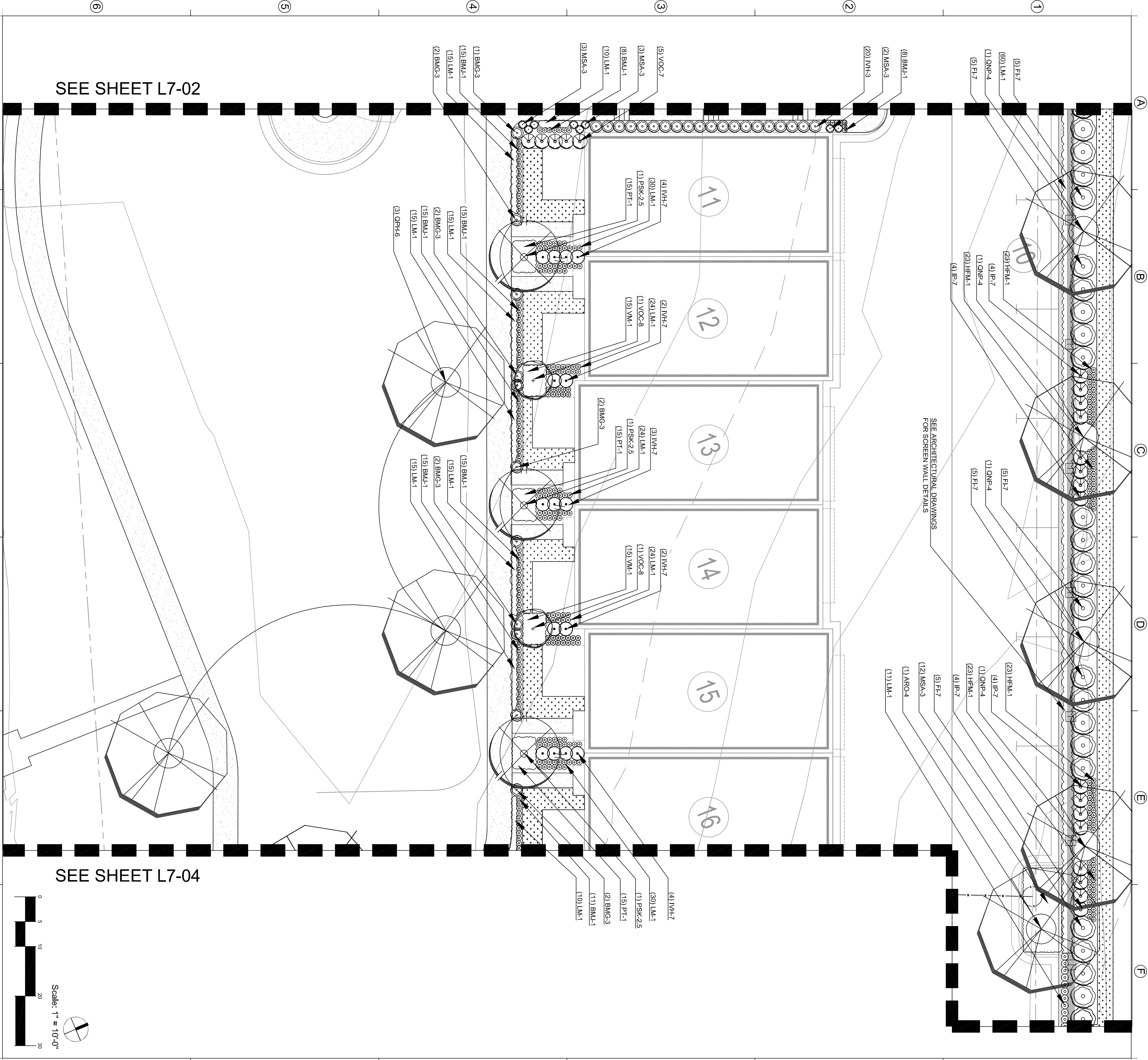
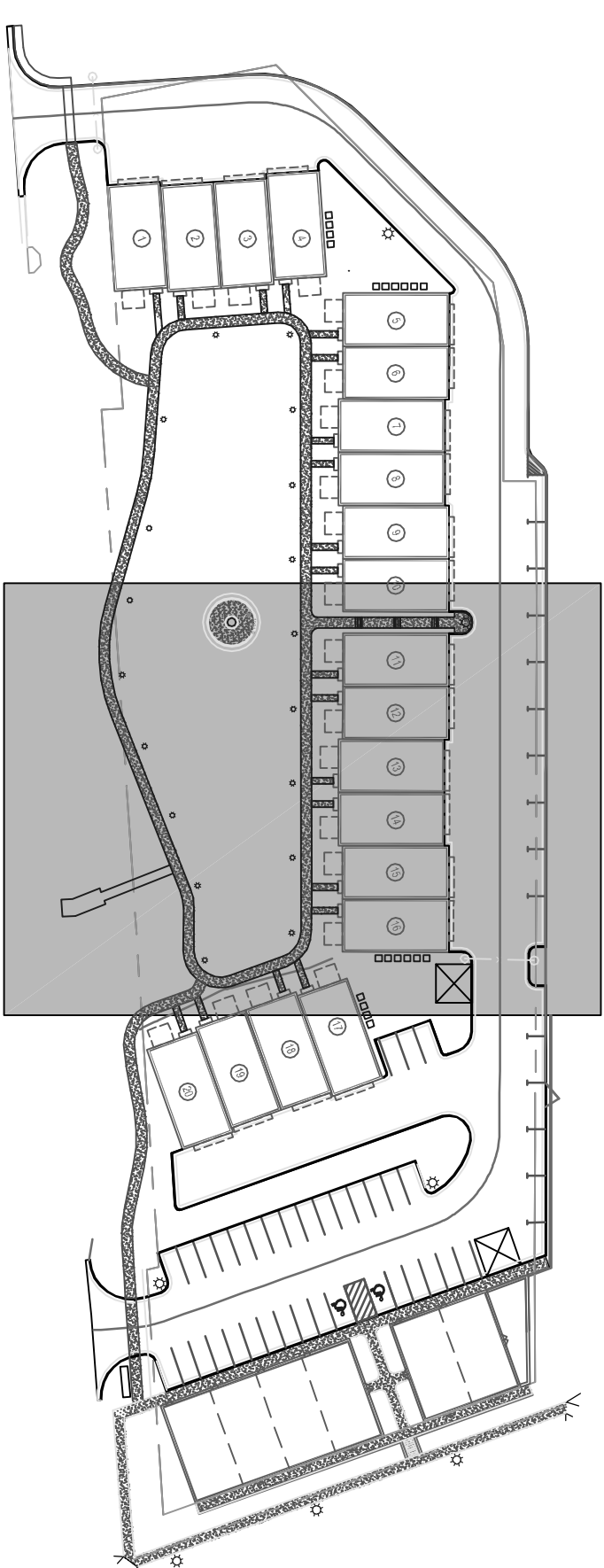
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DECIDUOUS					
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OPH-6	Quercus phellos 'Hightower'	Hightower Willow Oak	B&B	6" cal.	See # below
UPE-4	Ulmus parvifolia 'Elmer II'	Allee Lacebark Elm	B&B	4" cal.	See # below
EVERGREEN					
TGG-12	Thuja plicata 'Green Giant'	Thuja 'Green Giant'	Cont	12 ht.	See # below
INS-10	Ilex x 'Nellie R. Stevens'	'Nellie R. Stevens' Holly	Cont	10 ht.	See # below
MYG-6	Magnolia virginiana 'Green Mille'	'Green Mille' Sweetbay Mag.	Cont	6 ht.	See # below
ACCENT					
VAC-8	Vlex agnus-castus	Chaste Tree	Cont	8 ht.	See # below
PSK-2.5	Prunus serrulata 'Kwanzan'	'Kwanzan' Cherry	Cont	2.5" cal.	See # below
SHRUBS					
DECIDUOUS					
LCB-3	Loropetalum chinensis	Burgundy Loropetalum	Cont	3 gal.	See # below
FL-7	Forsythia x intermedia	Forsythia	Cont	7 gal.	See # below
EVERGREEN					
BMG-3	Buxus microphylla 'Green Mini'	'Green Mini' Korean Boxwood	Cont	3 gal.	See # below
BMJ-1	Buxus microphylla 'Winter Gem'	'Winter Gem' Boxwood	Cont	1 gal.	See # below
IP-7	Illicium parviflorum	Anise	Cont	7 gal.	4' ht at install
RI-3	Rhaphiolepis indica	Indian Hawthorne	Cont	3 gal.	See # below
IVH-3	Ilea virginica 'Henry's Garnet'	'Henry's Garnet' Sweetspire	Cont	3 gal.	See # below
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PT-1	Pachysandra terminalis	Japanese Pachysandra	Flat	pot	See # below
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HFM-1	Hemerocallis 'Froled Me'	Daylily	Cont	1 gal.	See # below

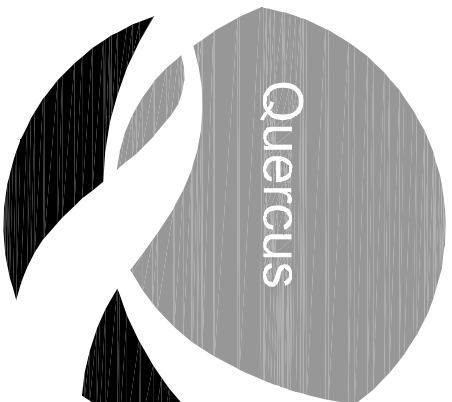
* SEE PLANT SPECIFIC CONDITION NOTES BELOW FOR EACH PLANT AS SPECIFIED

PLANT SPECIFIC CONDITION NOTES

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Submission

QU.C Project #: 19157
Drawn by: JCY
Reviewed by: JC

PLANTING
PLAN

L7-04

FOR CONSTRUCTION

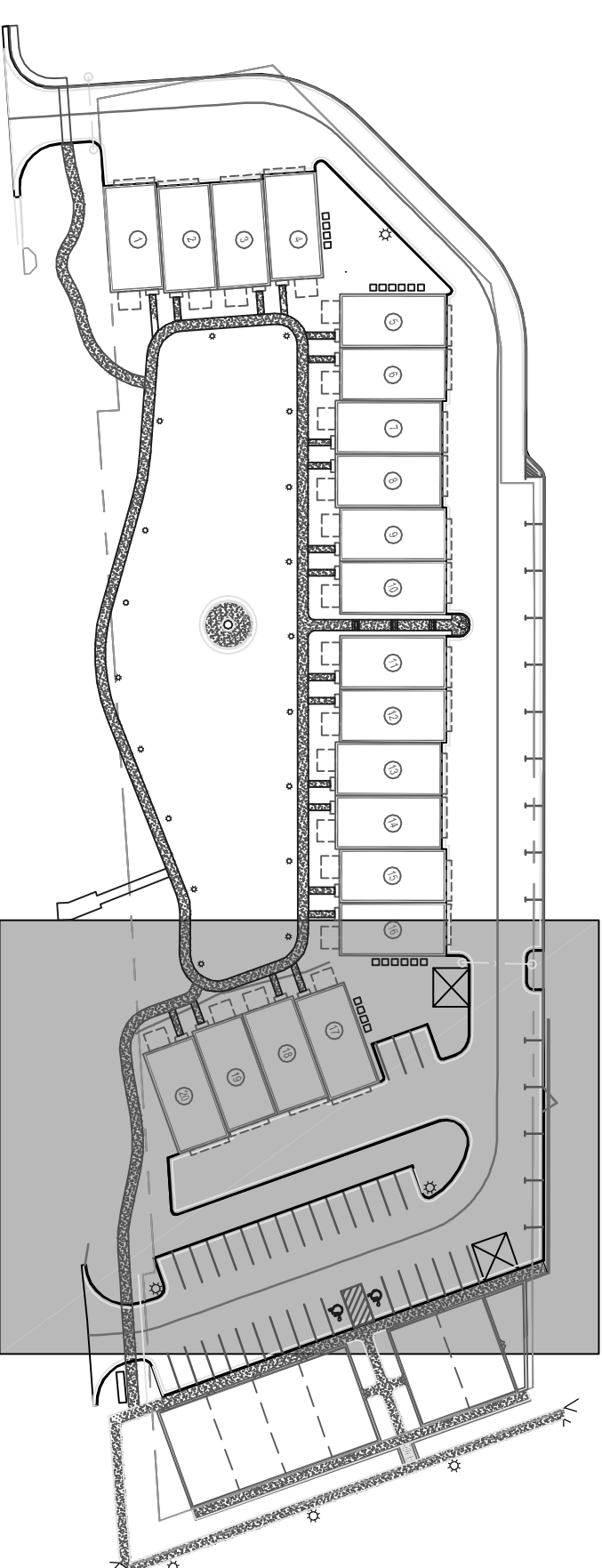
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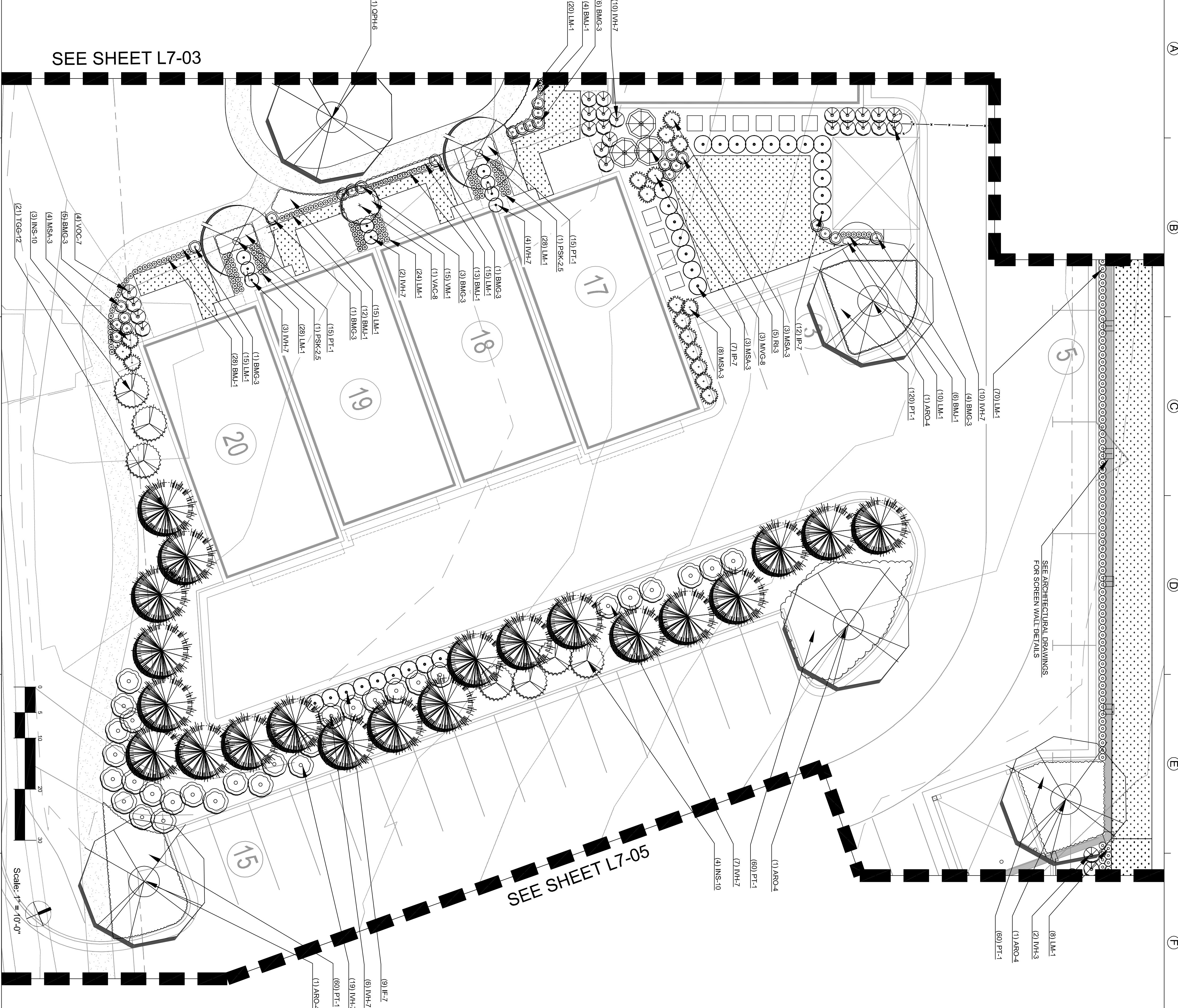
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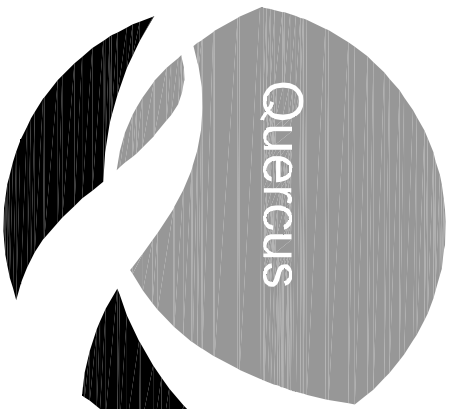
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KEY PLAN





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VILLAGE
WALK @
HAPEVILLE

City of Hapeville, Fulton County,
Georgia

Miller Lowry
Developments, LLC
2964 Peachtree Rd., NW Suite 540
Atlanta, GA 30305

DATE: 03.06.19

PRINTING:
1 03.06.19 PC review
2 06.15.19 DRC review
3 07.02.19 DRC remarks

SEAL



DRC
Submission

OLLC Project #: 19157
Drawn by: JCY
Reviewed by: JC

PLANTING
PLAN

L7-05

FOR CONSTRUCTION

RECOMPENSE TREE SCHEDULE

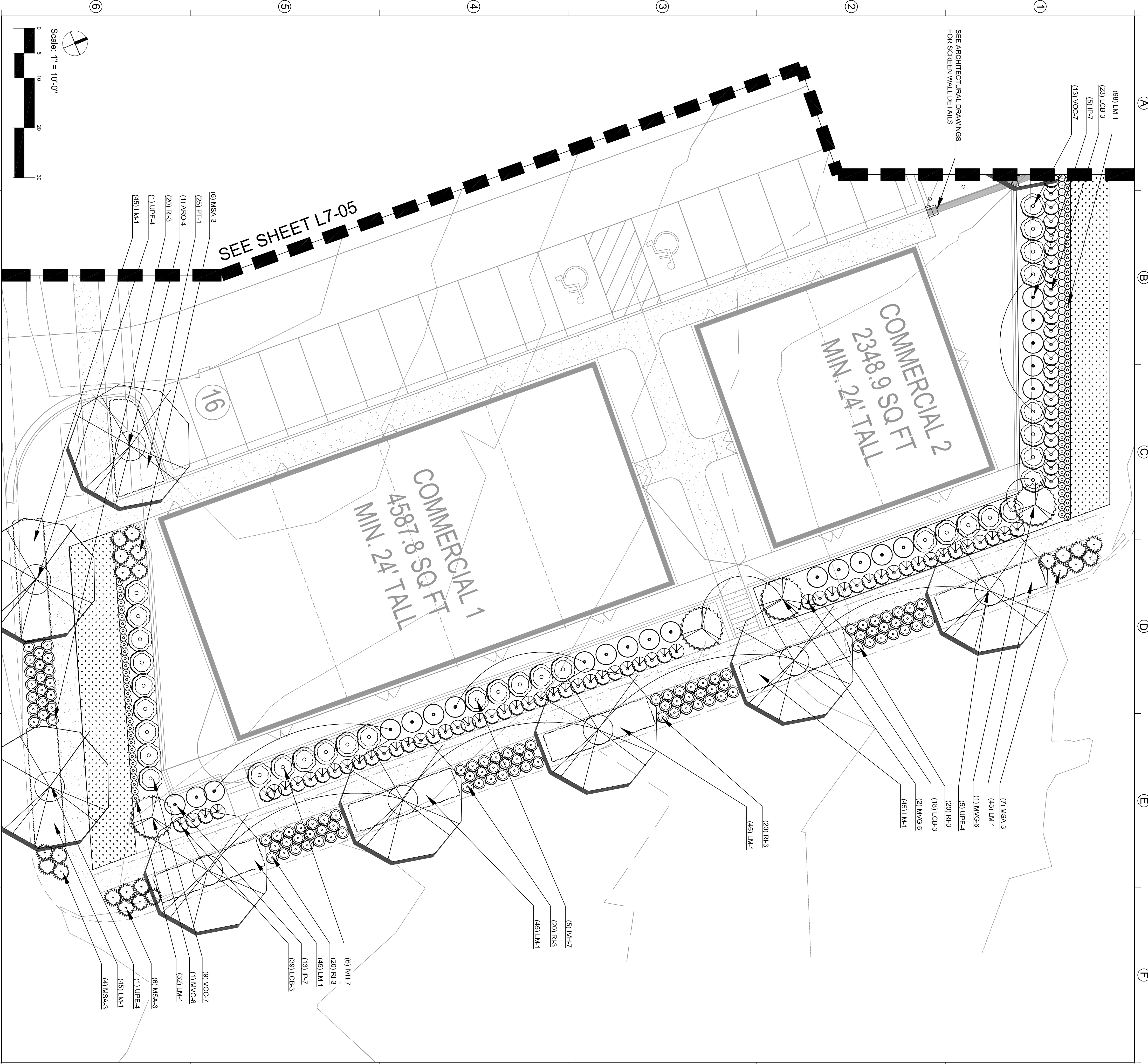
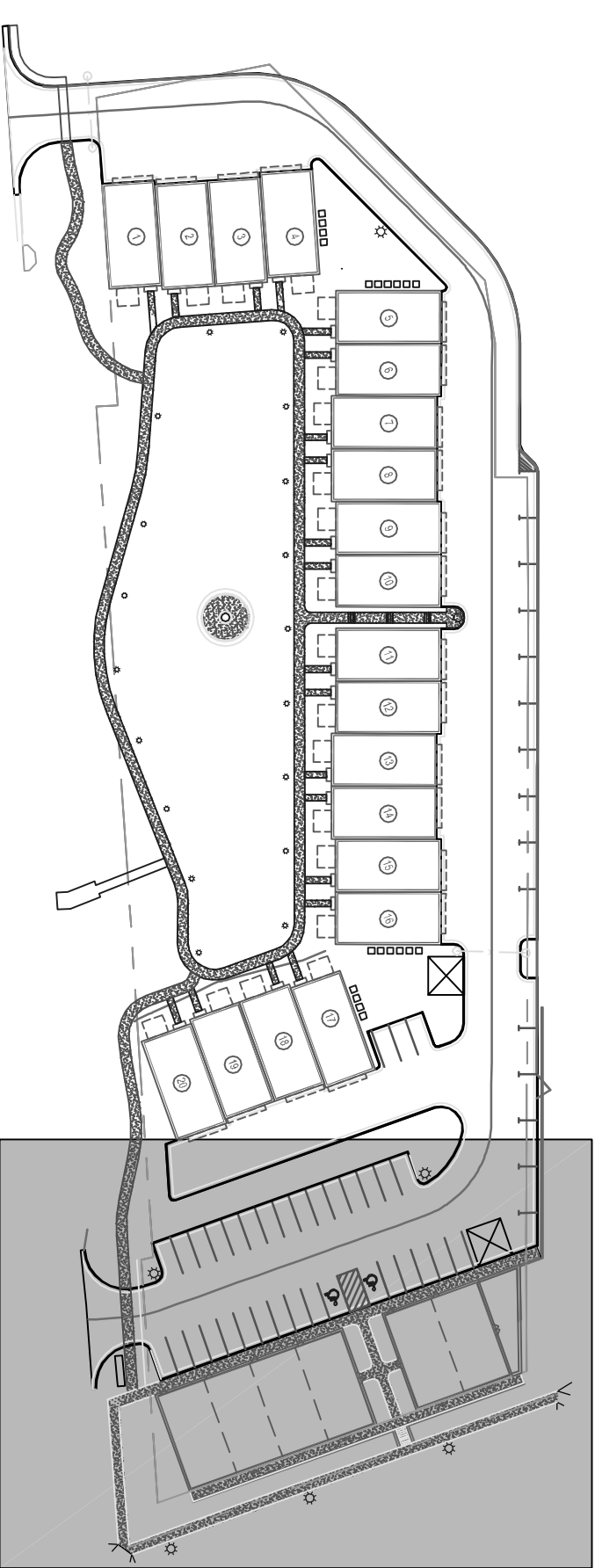
ABBV.	BOTANICAL NAME	COMMON NAME	COND.	SIZE	NOTES*
TREES					
DECIDUOUS					
ARO-4	Acer rubrum 'October Glory'	'October Glory' Red Maple	B&B	4" cal.	See # below
ONP-4	Quercus nattei'lli 'Ochlocknee'	Ochlocknee Nuttall Oak	B&B	4" cal.	See # below
OPH-6	Quercus phellos 'Hightower'	Hightower Willow Oak	B&B	6" cal.	See # below
UPE-4	Ulmus parvifolia 'Elmer II'	Allee Lacebark Elm	B&B	4" cal.	See # below
EVERGREEN					
TGG-12	Thuja plicata 'Green Giant'	Thuja 'Green Giant'	Cont	12 ht.	See # below
INS-10	Ilex x 'Nellie R. Stevens'	'Nellie R. Stevens' Holly	Cont	10' ht.	See # below
MVG-6	Magnolia virginiana 'Green Mille'	Green Mille Sweetbay Mag.	Cont	6' ht.	See # below
ACCENT					
VAC-8	Vitex agnus-castus	Chaste Tree	Cont	8 ht.	See # below
PSK-2.5	Prunus serotina 'Kwanzan'	'Kwanzan' Cherry	Cont	2.5" cal.	See # below
SHRUBS					
DECIDUOUS					
LCB-3	Loropetalum chinensis	Burgundy Loropetalum	Cont	3 gal.	See # below
FL-7	Forsythia x intermedia	Forsythia	Cont	7 gal.	See # below
EVERGREEN					
BMG-3	Buxus microphylla 'Green Mini'	'Green Mini' Korean Boxwood	Cont	3 gal.	See # below
BMJ-1	Buxus microphylla 'Winter Gem'	'Winter Gem' Boxwood	Cont	1 gal.	See # below
IP-7	Illicium parviflorum	Anise	Cont	7 gal.	4' ht at install
RI-3	Rhaphirolepis indica	Indian Hawthorne	Cont	3 gal.	See # below
IVH-3	Ilex virginica 'Henry's Garnet'	'Henry's Garnet' Sweetspirie	Cont	3 gal.	See # below
IVH-7	Ilex virginica 'Henry's Garnet'	'Henry's Garnet' Sweetspirie	Cont	7 gal.	See # below
VOC-7	Viburnum x 'Chindo'	'Chindo' Viburnum	Cont	7 gal.	See # below
NATIVE GRASSES					
MSA-3	Miscanthus sinensis 'Adagio'	'Adagio' Maiden Grass	Cont	3 gal.	See # below
GROUNDCOVER					
VM-1	Vinca minor	Periwinkle	Flat	pot	See # below
PT-1	Pachysandra terminalis	Japanese Pachysandra	Flat	pot	See # below
LM-1	Liriope muscari 'Big Blue'	'Big Blue' Liriope	Cont	1 gal.	See # below
HFM-1	Hemerocallis 'Froled Me'	Daylily	Cont	1 gal.	See # below

* SEE PLANT SPECIFIC CONDITION NOTES BELOW FOR EACH PLANT AS SPECIFIED

PLANT SPECIFIC CONDITION NOTES

- ALL PLANTS SHALL HAVE **MATCHED** CHARACTERISTICS IN FORM, COLOR, VIGOR, GROWTH HABIT, AND FOLIAGE DENSITY. ANY PLANT THAT DEVIATES SUBSTANTIALLY FROM THE ACCEPTED NORM WILL BE REJECTED ON-SITE.
- ALL LIKE PLANTS SHALL HAVE A SIMILAR CENTRAL GROWTH **LEADER** AT A CONSISTENT HEIGHT ABOVE THE ROOT COLOR WITHOUT ANY VISIBLE DAMAGE. ALL PLANTS WITH A BROKEN OR DAMAGED CENTRAL LEADER WILL BE REJECTED ON-SITE.
- EACH PLANT SHALL HAVE **MULTIPLE TRUNKS** WITH SIMILAR DIAMETER, STRENGTH, VIGOR, AND HABIT. THE PLANT SHALL BE LIMBED UP WITH ACCEPTABLE NURSERY PRUNING PRACTICES TO HIGHLIGHT THE MULTI-TRUNK FORM.
- EACH PLANT SHALL EXHIBIT EXEMPLARY **SPECIMEN** QUALITIES THAT BEST PORTRAY THE UNIQUENESS OF THE SPECIFIED SPECIES - FORM, HABIT, COLOR, TEXTURE, SIZE, VIGOR.
- EACH **STANDARD** PLANT SHALL HAVE A CLEAR, SINGLE, STRAIGHT TRUNK WITH NO VISIBLE DAMAGE. THE LIMBED UP CLEAR HEIGHT SHALL BE COMPLAINT WITH DESIGN INTENT, LOCAL CODE, AND NURSERY BEST PRACTICES.
- ARRANGE THE PLANTS SPECIFIED IN A **HEDGE** FORMATION SO THAT THE FOLIAGE FROM ONE PLANT OVERLAPS THE FOLIAGE OF THE ADJACENT PLANT AFTER 5 YEARS OF GROWTH. GROWTH RATES WILL VARY BY SPECIES AND MICRO-CLIMATE.

KEY PLAN





730 PEACHTREE STREET, NE
STUDIO 325
ATLANTA, GEORGIA 30308
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SEAL

[illegible]

PROJECT

VILLAGE WALK AT
HAPEVILLE
LAND LOTS
89 & 127, 14TH DIST.
CITY OF HAPEVILLE
FULTON CO.
GEORGIA

NUMBER
18030

01.22.2019

NK & AS

CHECKED
 JC

PRIVACY WALL DETAILS

SHEET

A700

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