

Name of Applicant Porsche Cars North America, Inc.
Mailing Address c/o The Galloway Law Group, 3500 Lenox Rd., Suite 760, Atlanta GA
Telephone 404-965-3680 Mobile#
Email laurel@glawgp.com
Property Owner (s) Porsche Cars North America, Inc. c/o Paula Kelly
Mailing Address 1 Porsche Drive, Atlanta, Georgia 30354
Telephone Mobile#
Telephone 770-290-3833 Mobile#  Address/Location of Property: Porsche Drive
Parcel ID #: 14 0096 LL0593, LL0601, LL0619
Square Foot of Property approx 1,457,299 sf Acres approx 33.455 acres
Present Zoning Classification U-V Proposed Zoning Classification B-P
Present Land Use undeveloped
Proposed Land Use auto service center and future development area
I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.
Paula Comphell Icely Applicant's signature
Date: June 12, 2019
Sworn to and subscribed before me
This 12 day of June 2019.  Add Malon  Notary Public  EXPIRES  APRIL 28, 2022  APRIL 28, 2022  APRIL 28, 2022  APRIL 28, 2022

### **LETTER OF INTENT**

In detail, provide a summary of the proposed project in the space provided below. Include the proposed use of each existing or proposed building, and the proposed land use.

Porsche proposes to rezone the Subject Property to Business Park, which is more in keeping with the
proposed and potential future development in support of Porsche's national headquarters. As part of the
rezoning, Porsche proposes a state of the art auto service center and repair facility on a portion of the Subject
Property. The proposed facility will be associated with Porsche's adjacent office headquarters, which is greater
than 200,000 square feet and is part of Porsche's corporate campus concept. Although located in another
jurisdiction (City of Atlanta), the office is immediately adjacent to the proposed B-P zoning district. The proposed
service center and repair facility will be operated as a joint venture by two reputable and regionally recognized
automotive companies. Future development plans for the remainder of the Subject Property have not yet been finalized
but will support Porsche's corporate campus and will be compatible with adjacent and nearby land uses.
What are the reasons the property cannot be used in accordance with the existing regulations?  The existing zoning of U-V contemplated a mixed-use village of various retail, restaurant, multifamily, office, hotel
and other uses. The vision for the future development of the Subject Property changed when Porsche relocated
its North American Headquarters to approximately 20 acres of adjacent property within the Atlanta city limits. Future
development will be more in keeping with a corporate business park rather than a mixed-use project with residential
uses. Therefore, the rezoning of the Subject Property to B-P is appropriate.
Will the proposed zoning change create an isolated zoning district that is unrelated to adjacent and nearby districts? YesNo_NO_
If so, why should this property be placed in a different zoning district than all adjoining property?  Adjoining properties are related to the Subject Property as they together form Porsche's corporate campus.
Although, the Subject Property will be zoned to a different district than these adjoining properties, the
proposed uses will be related to and compatible with adjacent and nearby office and other uses.

How would the proposed zoning change impact on public facilities and services?
The use of the Subject Property as proposed will not cause excessive or burdensome use of existing streets,
transportation facilities, utilities or schools. It will not overly burden the water or sewer system or any other
utilities that serve the site. In addition, the proposed rezoning is compatible with development that is allowed by
FAA regulations that pertain to the Subject Property.
What environmental impacts would the proposed project have?
The Applicant is unaware of any potential environmental impacts. The proposed use will meet all local,
state and federal environmental protection regulations that pertain to auto service and repair facilities.
Describe the effect the proposed zoning request will have on the adjacent properties and how it will impact the character of the neighborhood.
The proposed rezoning area is in close proximity to the expanded airport runways. As a result, allowed
uses are limited by FAA regulations. The proposed corporate campus is not only an ideal use for the Subject
Property, but it will have a positive impact on economic development in the City of Hapeville.
Are there any proffered conditions you would like to apply to and be made part of this application for rezoning? YesNo_NO
Please list any written proffered conditions below.
Any development and site plans or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application as follows: (Please include a date or other identifiable information of each piece of material attached)
N/A



### **AUTHORIZATION OF PROPERTY OWNER**

I CERTIFY THAT I HAVE THE AUTHORITY TO SIGN ON BEHALF OF THE OWNER OF:	
Porsche Drive (tax parcel numbers 14 0096 LL0593, LL0601, LL0619)	
City of Hapeville, County of Fulton, State of Georgia	
WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF A REZONING FOR THE PROPERTY.	
Name of Applicant	
Address of Applicant	
Telephone of Applicant	
Poula Campbell (Ully Signature of Owner	
PAULA CAMPBELL KELLY, ASS'T SECRET AND Print Name of Owner on behalf of Porsche Cars North America, Inc.	RY
Personally Appeared Before Me this 12 day of June, 2019.  Notary Public  REPRESA  GEORGIA  6	

Date	_				
AUTHORIZATION OF ATTORNEY					
	AS AN ATTORNEY-AT-LAW, I HAVE BEEN TO FILE THE ATTACHED APPLICATION LOCATED AT:				
Porsche Drive (tax parcel numbers	s 14 0096 LL0593, LL0601, LL0619)				
City of Hapeville, County of Fulton,	, State of Georgia				
City of Hapeville, County of Fulton,					
City of Hapeville, County of Fulton,	Name of Attorney Laurel David (bar no. 206505)				
City of Hapeville, County of Fulton,	Name of Attorney				
City of Hapeville, County of Fulton,	Name of Attorney Laurel David (bar no. 206505)				
City of Hapeville, County of Fulton,	Name of Attorney  Laurel David (bar no. 206505)  William Woodson Galloway (bar no. 283080)				
City of Hapeville, County of Fulton,	Name of Attorney Laurel David (bar no. 206505)  William Woodson Galloway (bar no. 283080)  Bar No.				
City of Hapeville, County of Fulton,	Name of Attorney Laurel David (bar no. 206505)  William Woodson Galloway (bar no. 283080)  Bar No.  Address				
City of Hapeville, County of Fulton,	Name of Attorney Laurel David (bar no. 206505)  William Woodson Galloway (bar no. 283080)  Bar No.  Address The Galloway Law Group, 3500 Lenox Rd., Suite 760				

#### **DISCLOSURE OF CAMPAIGN CONTRIBUTIONS & GIFTS**

Application filed on the following requested rezoning	, 20fc	or action by the City Council on
		14 0096 LL0593, LL0601, LL0619)
	or other organizations havi	ng a property or other interest in
The undersigned below, makin Code of Georgia Section 36-67/ submitted or attached the requi	A-1, et. Seq., Conflict of Int	, has complied with the Official erest in Zoning Actions, and has as provided.
Have you as applicant or anyon (2) years immediately preceding aggregating \$250 or more to a	g the filing of this application	ation or property, within the two on, made campaign contributions y Council?YesNo
If YES, please complete the follo	owing section (attach additio	nal sheets if necessary):
Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or mor	
I do hereby certify the information best of my knowledge.	ation provided herein is bot	h complete and accurate to the
Poesche CARS North A Signature of Applicant	ANTERICA, INC. PI	AULA CAMPBEL KELLY pe or Print Name and Title
Paula Campheel ICUL Signature of Applicant's Represe	entative Ty	A SSISTANT SECRETARY pe or Print Name and Title
Signature of Notary Public	0-12-19 Date (A)	OTA
		EXPIRES GEORGIA APRIL 22, 2022 8
		H CONSTRUCTION OF THE PARTY OF

#### **DISCLOSURE OF CAMPAIGN CONTRIBUTIONS & GIFTS**

Application filed on		20for	action by the	City Council on
the following requested rezoning	j: from U-V to B-P			
Address to be rezoned: Porsch	e Drive (tax parcel n	umbers 14 00	96 LL0593, LL0	601, LL0619)
All individuals, business entities said property that is subject of the Porsche Cars North America, Inc.			a property or	other interest in
The undersigned below, making Code of Georgia Section 36-67A submitted or attached the require	-1, et. Seq., Conf	lict of Intere	est in Zoning /	
Have you as applicant or anyone (2) years immediately preceding aggregating \$250 or more to a new control of the control of th	the filing of this	application,	made campai	gn contributions
If YES, please complete the follo	wing section (atta	ch additiona	I sheets if nec	essary):
Name and Official Position of Government Official	Contributions (Li aggregate to \$25		Date of Co (Within las	The state of the s
I do hereby certify the informations best of my knowledge.	tion provided here	ein is both o	complete and	accurate to the
NA		N/A		
Signature of Applicant	0	Туре	or Print Name	and Title
			David (bar no. :	
Signature of Applicant's Represen	ntative	* 151	or Print Name	
APRIL 19, 2020	1		ne Galloway Law	
Signature of Notary Public	Date	(Affix	Raised Seal H	ere)

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#### PORSCHE TRACT III

ALL THAT TRACT OF LAND LYING AND BEING IN LAND LOT 96 OF THE 14TH DISTRICT, FULTON COUNTY (CITY OF HAPEVILLE), GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NAIL SET ON THE SOUTHWESTERLY RIGHT OF WAY OF PORSCHE AVENUE (FORMERLY KNOWN AS HENRY FORD II AVENUE AND HAVING A VARIABLE WIDTH RIGHT OF WAY) AT ITS INTERSECTION WITH THE WESTERLY RIGHT OF WAY OF PORSCHE DRIVE (HAVING A VARIABLE WIDTH RIGHT OF WAY); THENCE RUNNING ALONG THE SOUTHWESTERLY RIGHT OF WAY OF PORSCHE AVENUE THE FOLLOWING COURSES AND DISTANCES: ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 606.88 FEET (SAID CURVE HAVING A RADIUS OF 2437.76 FEET, BEING SUBTENDED BY A CHORD BEARING NORTH 61 DEGREES 38 MINUTES 35 SECONDS WEST, A CHORD DISTANCE OF 605.32 FEET) TO A POINT; THENCE NORTH 53 DEGREES 39 MINUTES 04 SECONDS WEST FOR A DISTANCE OF 539.41 FEET TO A 1/2" IRON PIN FOUND; THENCE TURNING AND LEAVING THE SOUTHWESTERLY RIGHT OF WAY OF PORSCHE AVENUE (VARIABLE WIDTH RIGHT OF WAY) AND RUNNING SOUTH 32 DEGREES 25 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 22.59 FEET TO A 1/2" IRON PIN FOUND; THENCE SOUTH 35 DEGREES 19 MINUTES 11 SECONDS WEST A DISTANCE OF 379.13 FEET TO A 1/2" IRON PIN FOUND; THENCE SOUTH 00 DEGREES 24 MINUTES 44 SECONDS WEST A DISTANCE OF 1012.49 FEET TO A 1/2" IRON PIN FOUND, SAID 1/2" IRON PIN FOUND ALSO BEING THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING AS THUS ESTABLISHED, RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 605.17 FEET TO A 1/2" IRON PIN SET: THENCE NORTH 03 DEGREES 54 MINUTES 50 SECONDS WEST A DISTANCE OF 11.58 FEET TO A 1/2" IRON PIN SET; THENCE NORTH 00 DEGREES 20 MINUTES 55 SECONDS EAST A DISTANCE OF 496.19 FEET TO A 1/2" IRON PIN SET; THENCE SOUTH 89 DEGREES 35 MINUTES 16 SECONDS EAST A DISTANCE OF 606.58 FEET TO A 1/2" IRON PIN SET; THENCE SOUTH 00 DEGREES 24 MINUTES 44 SECONDS WEST A DISTANCE OF 503.38 FEET TO A 1/2" IRON PIN FOUND, SAID 1/2" IRON PIN FOUND ALSO BEING THE POINT OF BEGINNING.

SAID TRACT CONTAINS 7.04 ACRES (306,516 SQUARE FEET).

#### Option Tract

All that tract or parcel of land lying and being in land lot 96 of the 14th District, City of Hapeville, Fulton County, Georgia and being more particularly described as follows:

Commence at the intersection of the line common to land lots 11 and 12, 13th District, Clayton County, Georgia, and the South boundary line of Land Lot 65, 14th District, Fulton County, Georgia, said Point of Commencement being located North 88 degrees 49 minutes 32 seconds West a distance of 307.92 feet as measured from a concrete monument found at the intersection of said county line and the northwesterly right-of-way of Interstate Highway I-75 (having a varied right-of-way); thence run North 08 degrees 10 minutes 25 seconds West a distance of 1064.55 feet to an iron pin set said iron pin set also being THE TRUE POINT OF BEGINNING;

From THE TRUE POINT OF BEGINNING as thus established run North 90 degrees 00 minutes 00 seconds West a distance of 1257.63 feet to an iron pin set, Thence run North 00 degrees 24 minutes 44 seconds East a distance of 1226.35 feet to an iron pin set, said iron pin set being located on the southeasterly right-of-way of South Street (public road having a variable width right-of-way); thence run along the said southeasterly right-of-way of South Street North 35 degrees 19 minutes 11 seconds East a distance of 185.37 feet to an iron pin set; thence continue to run along the said southeasterly right-of-way of South Street North 32 degrees 25 minutes 35 seconds East a distance of 26.92 feet to an iron pin set, said iron pin set being located on the southwesterly right-of-way of Henry Ford II Avenue (public road having a variable width rightof-way); thence leave the said southeasterly right-of-way of South Street and run along the said southwesterly right-of-way of Henry Ford II Avenue South 53 degrees 39 minutes 04 seconds East a distance of 639.64 feet to a point; thence run along the said southwesterly right-of-way of Henry Ford II Avenue along a curve to the left an arc distance of 606.89 feet (said arc having a radius of 2437.76 feet and being subtended by a chord 605.32 feet in length and bearing North 61 degrees 38 minutes 35 seconds West) to a point; thence continue to run along the said southwesterly right-of-way of Henry Ford II Avenue South 63 degrees 35 minutes 46 seconds East a distance of 94.14 feet to a nail set; thence leave the said southwesterly right-of-way of Henry Ford II Avenue and run South 00 degrees 24 minutes 44 seconds West a distance of 691.82 feet to an iron pin set, said iron pin set also being THE TRUE POINT OF BEGINNING.

Said tract contains 30.002 acres (1,306,884 square feet).

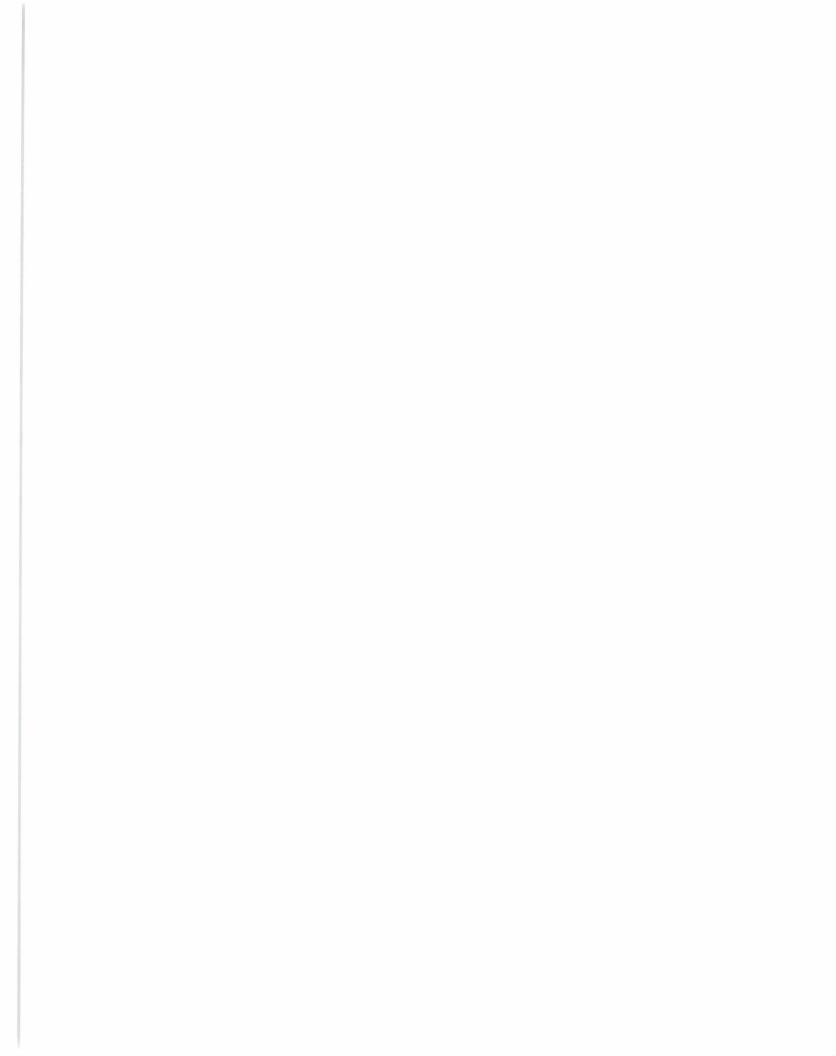
Tract E - Land Lot 96, 14th District, City of Hapeville, Fulton County, Georgia

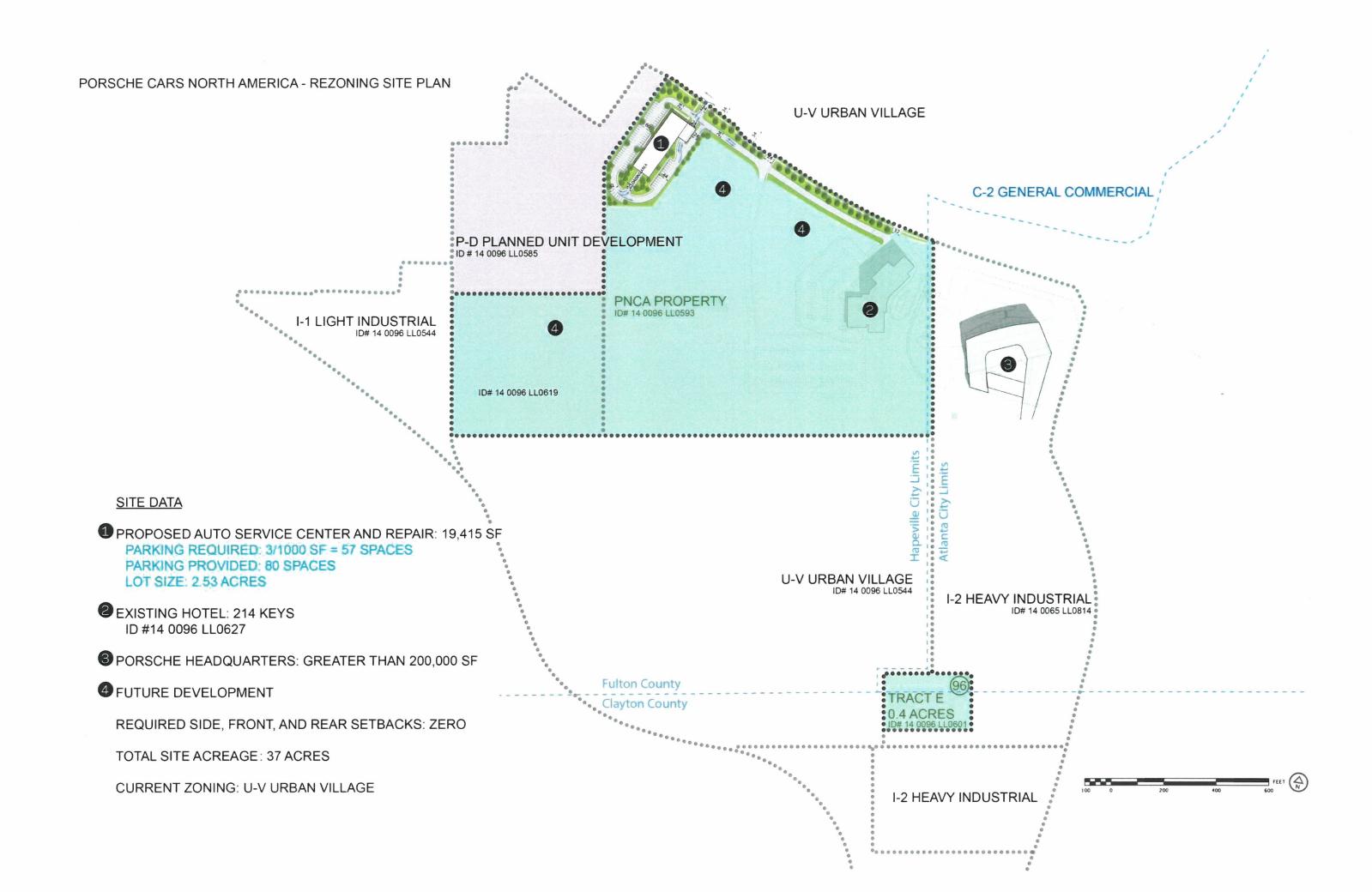
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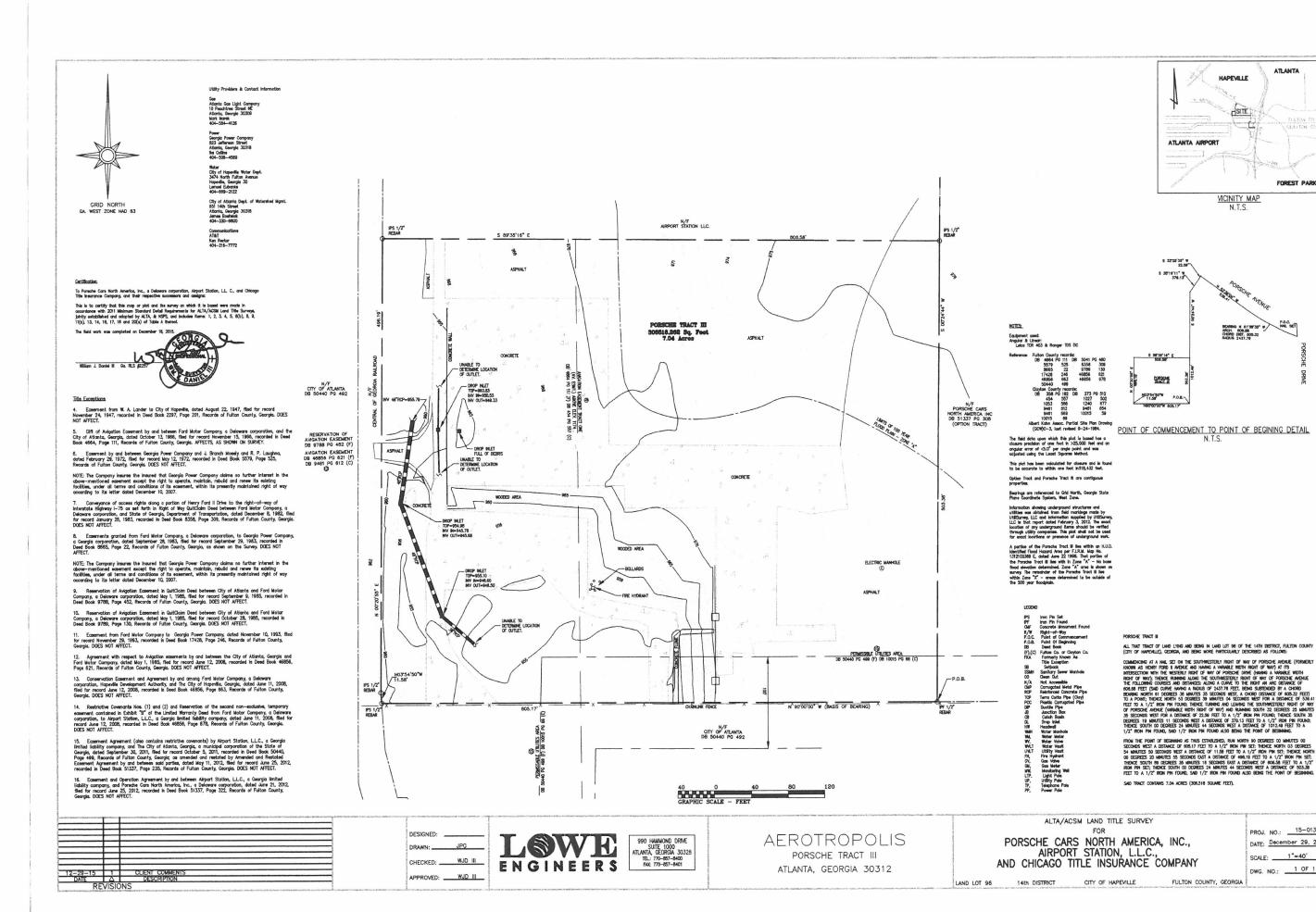
Commence at the intersection of the line common to land lots 11 and 12, 13th District, Clayton County, Georgia, and the South boundary line of Land Lot 65, 14th District, Fulton County, Georgia, said Point of Commencement being located North 88 degrees 49 minutes 32 seconds West a distance of 307.92 feet as measured from a concrete monument found at the intersection of said county line and the northwesterly right-of-way of Interstate Highway I-75 (having a varied right-of-way); thence run along the said South boundary line of Land Lot 65 North 88 degrees 49 minutes 32 seconds West a distance of 158.94 feet to an iron pit set, said iron pin set also being THE TRUE POINT OF BEGINNING;

From THE TRUE POINT OF BEGINNING as thus established run North 88 degrees 49 minutes 32 seconds West for a distance of 164.76 feet to an iron pin set; thence run North 00 degrees 51 minutes 50 seconds East for a distance of 103.03 feet to an iron pin set; thence run South 89 degrees 35 minutes 09 seconds East for a distance of 163.93 feet to an iron pin set; thence run South 00 degrees 24 minutes 44 seconds West for a distance of 105.21 feet to an iron pin set, said iron pin set also being THE TRUE POINT OF BEGINNING.

Said property contains 17,111 square feet (0.393 acres)







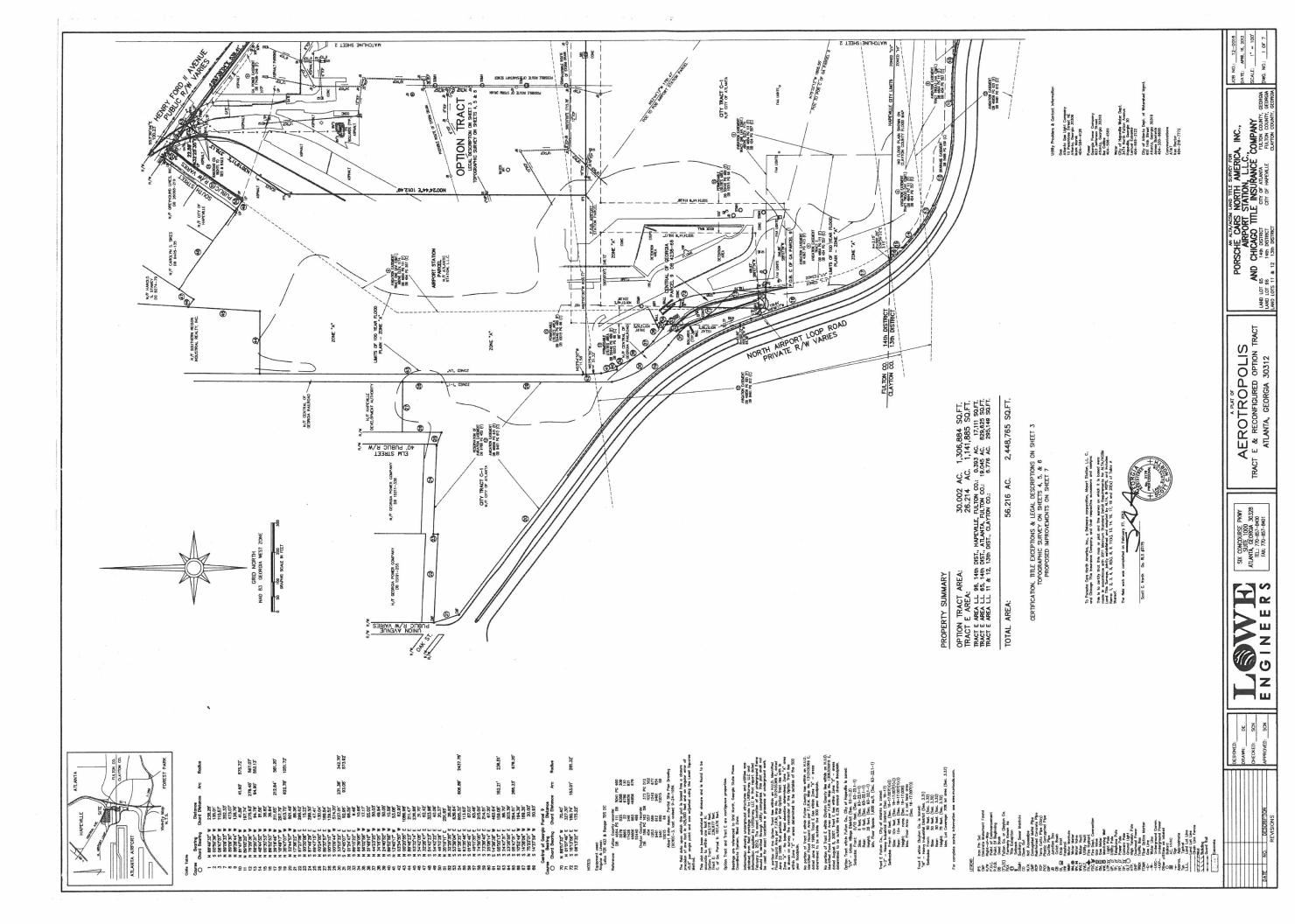
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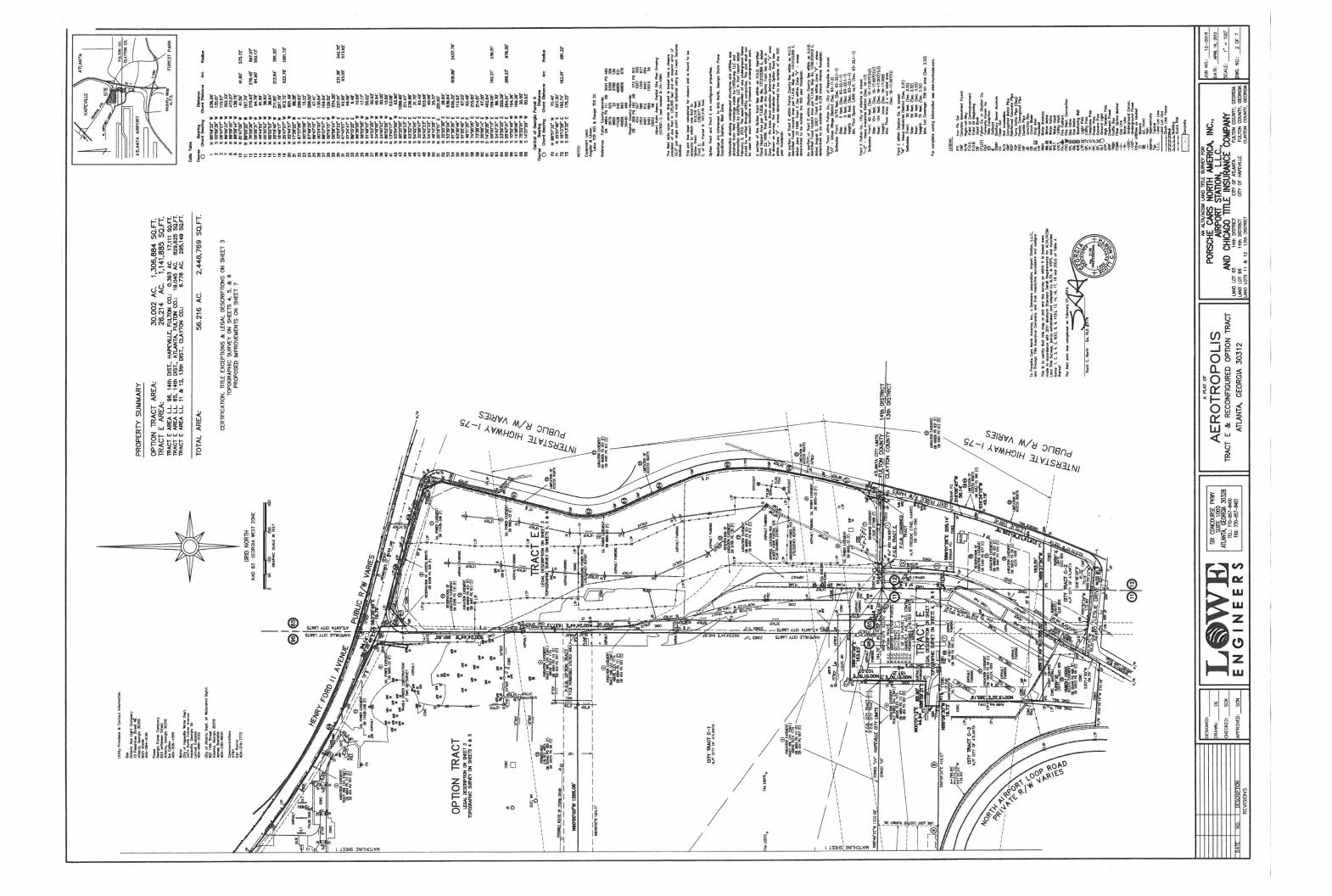
PROJ. NO.: \_\_\_\_15-0136

DWG. NO.: 1 OF 1

DATE: December 29, 2015

1"=40"





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(2) The Sarray and the hieronicities, concerns and describes shown thereon are correct;
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TRACT E & RECONFIGURED OPTION TRACT
ATLANTA, GEORGIA 30312

PORSCHE CARS NORTH AMERICA, INC.,
ARPORT STATION, LLC.,
AND CHICAGO TITLE INSURANCE COMPANY
LIMB OF 65 14th DESTRICT ONY OF HAPPALLE PULNE COMPANY
LIMB OF 65 14th DESTRICT ONY OF HAPPALLE CANTON COUNT, GEORGA,