

19-PC-07-15

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
REZONING APPLICATION**

Name of Applicant Porsche Cars North America, Inc.

Mailing Address c/o The Galloway Law Group, 3500 Lenox Rd., Suite 760, Atlanta GA

Telephone 404-965-3680 Mobile# _____

Email laurel@glawgp.com

Property Owner (s) Porsche Cars North America, Inc. c/o Paula Kelly

Mailing Address 1 Porsche Drive, Atlanta, Georgia 30354

Telephone 770-290-3833 Mobile# _____

Address/Location of Property: 0 X Porsche Drive

Parcel ID #: 14 0096 LL0593, LL0601, LL0619

Square Foot of Property approx 1,457,299 sf Acres approx 33.455 acres

Present Zoning Classification U-V Proposed Zoning Classification B-P

Present Land Use undeveloped

Proposed Land Use auto service center and future development area

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

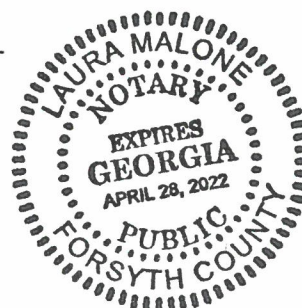
Paula Campbell Kelly
Applicant's signature

Date: June 12, 2019

Sworn to and subscribed before me

This 12th day of June, 2019.

Laura Malone
Notary Public



**CITY OF HAPEVILLE
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LETTER OF INTENT

In detail, provide a summary of the proposed project in the space provided below. Include the proposed use of each existing or proposed building, and the proposed land use.

Porsche proposes to rezone the Subject Property to Business Park, which is more in keeping with the proposed and potential future development in support of Porsche's national headquarters. As part of the rezoning, Porsche proposes a state of the art auto service center and repair facility on a portion of the Subject Property. The proposed facility will be associated with Porsche's adjacent office headquarters, which is greater than 200,000 square feet and is part of Porsche's corporate campus concept. Although located in another jurisdiction (City of Atlanta), the office is immediately adjacent to the proposed B-P zoning district. The proposed service center and repair facility will be operated as a joint venture by two reputable and regionally recognized automotive companies. Future development plans for the remainder of the Subject Property have not yet been finalized but will support Porsche's corporate campus and will be compatible with adjacent and nearby land uses.

What are the reasons the property cannot be used in accordance with the existing regulations?

The existing zoning of U-V contemplated a mixed-use village of various retail, restaurant, multifamily, office, hotel and other uses. The vision for the future development of the Subject Property changed when Porsche relocated its North American Headquarters to approximately 20 acres of adjacent property within the Atlanta city limits. Future development will be more in keeping with a corporate business park rather than a mixed-use project with residential uses. Therefore, the rezoning of the Subject Property to B-P is appropriate.

Will the proposed zoning change create an isolated zoning district that is unrelated to adjacent and nearby districts? Yes _____ No NO

If so, why should this property be placed in a different zoning district than all adjoining property?

Adjoining properties are related to the Subject Property as they together form Porsche's corporate campus. Although, the Subject Property will be zoned to a different district than these adjoining properties, the proposed uses will be related to and compatible with adjacent and nearby office and other uses.

How would the proposed zoning change impact on public facilities and services?

The use of the Subject Property as proposed will not cause excessive or burdensome use of existing streets, transportation facilities, utilities or schools. It will not overly burden the water or sewer system or any other utilities that serve the site. In addition, the proposed rezoning is compatible with development that is allowed by FAA regulations that pertain to the Subject Property.

What environmental impacts would the proposed project have?

The Applicant is unaware of any potential environmental impacts. The proposed use will meet all local, state and federal environmental protection regulations that pertain to auto service and repair facilities.

Describe the effect the proposed zoning request will have on the adjacent properties and how it will impact the character of the neighborhood.

The proposed rezoning area is in close proximity to the expanded airport runways. As a result, allowed uses are limited by FAA regulations. The proposed corporate campus is not only an ideal use for the Subject Property, but it will have a positive impact on economic development in the City of Hapeville.

Are there any proffered conditions you would like to apply to and be made part of this application for rezoning? Yes_____No NO

Please list any written proffered conditions below.

Any development and site plans or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application as follows: (Please include a date or other identifiable information of each piece of material attached)

N/A

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
REZONING APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I HAVE THE AUTHORITY TO SIGN ON BEHALF OF THE OWNER OF:

☒ Porsche Drive (tax parcel numbers 14 0096 LL0593, LL0601, LL0619)

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF A REZONING FOR THE PROPERTY.

Name of Applicant Porsche Cars North America, Inc. c/o The Galloway Law Group

Address of Applicant 1 Porsche Drive, Atlanta, Georgia 30354

Telephone of Applicant 404-965-3680

Paula Campbell Kelly

Signature of Owner

PAULA CAMPBELL KELLY, ASS'T SECRETARY

Print Name of Owner

on behalf of Porsche Cars North America, Inc.

Personally Appeared Before Me this 12 day of June, 2019.

Laura Malone
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
REZONING APPLICATION

Date _____

AUTHORIZATION OF ATTORNEY

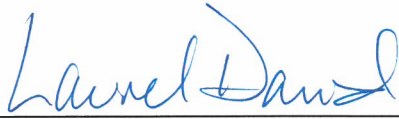
THIS SERVES TO CERTIFY THAT AS AN ATTORNEY-AT-LAW, I HAVE BEEN AUTHORIZED BY THE OWNER(S) TO FILE THE ATTACHED APPLICATION FOR REZONING OF THE PROPERTY LOCATED AT:

0 Porsche Drive (tax parcel numbers 14 0096 LL0593, LL0601, LL0619)

City of Hapeville, County of Fulton, State of Georgia

Name of Attorney
Laurel David (bar no. 206505)

William Woodson Galloway (bar no. 283080)

 **Bar No.**

Address
The Galloway Law Group, 3500 Lenox Rd., Suite 760

Atlanta, GA 30326

Telephone
404-965-3680

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
REZONING APPLICATION**

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS & GIFTS

Application filed on _____, 20____ for action by the City Council on the following requested rezoning: from U-V to B-P

Address to be rezoned: 01 Porsche Drive (tax parcel numbers 14 0096 LL0593, LL0601, LL0619)

All individuals, business entities or other organizations having a property or other interest in said property that is subject of this application are as follows:

The undersigned below, making application for Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. Seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250 or more to a member of the Hapeville City Council? ____Yes ____No

If YES, please complete the following section (attach additional sheets if necessary):

Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

PORSCHE CARS NORTH AMERICA, INC.
Signature of Applicant

PAULA CAMPBELL KELLY
Type or Print Name and Title

Paula Campbell Kelly
Signature of Applicant's Representative

ASSISTANT SECRETARY
Type or Print Name and Title

Laura Malone 6-12-19
Signature of Notary Public Date



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
REZONING APPLICATION

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS & GIFTS

Application filed on _____, 20____for action by the City Council on the following requested rezoning: _____
from U-V to B-P

Address to be rezoned: 9 Porsche Drive (tax parcel numbers 14 0096 LL0593, LL0601, LL0619)

All individuals, business entities or other organizations having a property or other interest in said property that is subject of this application are as follows:
Porsche Cars North America, Inc.

The undersigned below, making application for Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. Seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

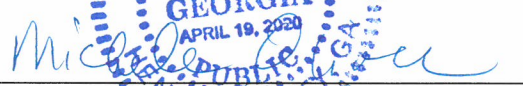
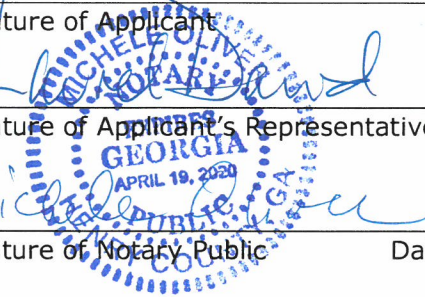
Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250 or more to a member of the Hapeville City Council? _____Yes _____NO No

If YES, please complete the following section (attach additional sheets if necessary):

Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

NA
Signature of Applicant

Signature of Applicant's Representative

Signature of Notary Public _____ Date _____


N/A
Type or Print Name and Title
Laurel David (bar no. 206505)
Type or Print Name and Title
for The Galloway Law Group, LLC
(Affix Raised Seal Here)

PORSCHE TRACT III

ALL THAT TRACT OF LAND LYING AND BEING IN LAND LOT 96 OF THE 14TH DISTRICT, FULTON COUNTY (CITY OF HAPEVILLE), GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NAIL SET ON THE SOUTHWESTERLY RIGHT OF WAY OF PORSCHE AVENUE (FORMERLY KNOWN AS HENRY FORD II AVENUE AND HAVING A VARIABLE WIDTH RIGHT OF WAY) AT ITS INTERSECTION WITH THE WESTERLY RIGHT OF WAY OF PORSCHE DRIVE (HAVING A VARIABLE WIDTH RIGHT OF WAY); THENCE RUNNING ALONG THE SOUTHWESTERLY RIGHT OF WAY OF PORSCHE AVENUE THE FOLLOWING COURSES AND DISTANCES: ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 606.88 FEET (SAID CURVE HAVING A RADIUS OF 2437.76 FEET, BEING SUBTENDED BY A CHORD BEARING NORTH 61 DEGREES 38 MINUTES 35 SECONDS WEST, A CHORD DISTANCE OF 605.32 FEET) TO A POINT; THENCE NORTH 53 DEGREES 39 MINUTES 04 SECONDS WEST FOR A DISTANCE OF 539.41 FEET TO A 1/2" IRON PIN FOUND; THENCE TURNING AND LEAVING THE SOUTHWESTERLY RIGHT OF WAY OF PORSCHE AVENUE (VARIABLE WIDTH RIGHT OF WAY) AND RUNNING SOUTH 32 DEGREES 25 MINUTES 35 SECONDS WEST FOR A DISTANCE OF 22.59 FEET TO A 1/2" IRON PIN FOUND; THENCE SOUTH 35 DEGREES 19 MINUTES 11 SECONDS WEST A DISTANCE OF 379.13 FEET TO A 1/2" IRON PIN FOUND; THENCE SOUTH 00 DEGREES 24 MINUTES 44 SECONDS WEST A DISTANCE OF 1012.49 FEET TO A 1/2" IRON PIN FOUND, SAID 1/2" IRON PIN FOUND ALSO BEING THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING AS THUS ESTABLISHED, RUN NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 605.17 FEET TO A 1/2" IRON PIN SET; THENCE NORTH 03 DEGREES 54 MINUTES 50 SECONDS WEST A DISTANCE OF 11.58 FEET TO A 1/2" IRON PIN SET; THENCE NORTH 00 DEGREES 20 MINUTES 55 SECONDS EAST A DISTANCE OF 496.19 FEET TO A 1/2" IRON PIN SET; THENCE SOUTH 89 DEGREES 35 MINUTES 16 SECONDS EAST A DISTANCE OF 606.58 FEET TO A 1/2" IRON PIN SET; THENCE SOUTH 00 DEGREES 24 MINUTES 44 SECONDS WEST A DISTANCE OF 503.38 FEET TO A 1/2" IRON PIN FOUND, SAID 1/2" IRON PIN FOUND ALSO BEING THE POINT OF BEGINNING.

SAID TRACT CONTAINS 7.04 ACRES (306,516 SQUARE FEET).

Option Tract

All that tract or parcel of land lying and being in land lot 96 of the 14th District, City of Hapeville, Fulton County, Georgia and being more particularly described as follows:

Commence at the intersection of the line common to land lots 11 and 12, 13th District, Clayton County, Georgia, and the South boundary line of Land Lot 65, 14th District, Fulton County, Georgia, said Point of Commencement being located North 88 degrees 49 minutes 32 seconds West a distance of 307.92 feet as measured from a concrete monument found at the intersection of said county line and the northwesterly right-of-way of Interstate Highway I-75 (having a varied right-of-way); thence run North 08 degrees 10 minutes 25 seconds West a distance of 1064.55 feet to an iron pin set said iron pin set also being THE TRUE POINT OF BEGINNING;

From THE TRUE POINT OF BEGINNING as thus established run North 90 degrees 00 minutes 00 seconds West a distance of 1257.63 feet to an iron pin set, Thence run North 00 degrees 24 minutes 44 seconds East a distance of 1226.35 feet to an iron pin set, said iron pin set being located on the southeasterly right-of-way of South Street (public road having a variable width right-of-way); thence run along the said southeasterly right-of-way of South Street North 35 degrees 19 minutes 11 seconds East a distance of 185.37 feet to an iron pin set; thence continue to run along the said southeasterly right-of-way of South Street North 32 degrees 25 minutes 35 seconds East a distance of 26.92 feet to an iron pin set, said iron pin set being located on the southwesterly right-of-way of Henry Ford II Avenue (public road having a variable width right-of-way); thence leave the said southeasterly right-of-way of South Street and run along the said southwesterly right-of-way of Henry Ford II Avenue South 53 degrees 39 minutes 04 seconds East a distance of 639.64 feet to a point; thence run along the said southwesterly right-of-way of Henry Ford II Avenue along a curve to the left an arc distance of 606.89 feet (said arc having a radius of 2437.76 feet and being subtended by a chord 605.32 feet in length and bearing North 61 degrees 38 minutes 35 seconds West) to a point; thence continue to run along the said southwesterly right-of-way of Henry Ford II Avenue South 63 degrees 35 minutes 46 seconds East a distance of 94.14 feet to a nail set; thence leave the said southwesterly right-of-way of Henry Ford II Avenue and run South 00 degrees 24 minutes 44 seconds West a distance of 691.82 feet to an iron pin set, said iron pin set also being THE TRUE POINT OF BEGINNING.

Said tract contains 30.002 acres (1,306,884 square feet).

Tract E - Land Lot 96, 14th District, City of Hapeville, Fulton County, Georgia

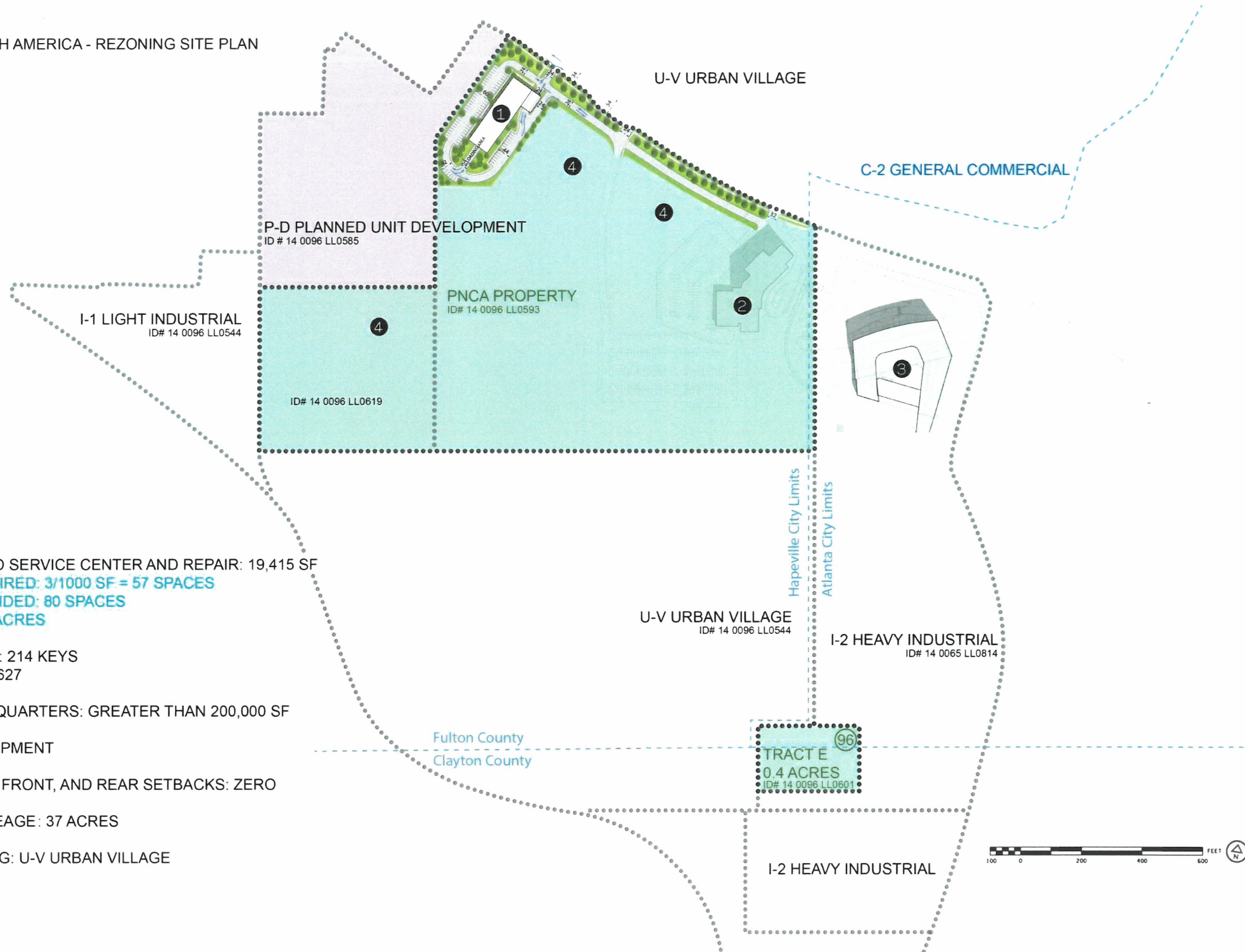
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Commence at the intersection of the line common to land lots 11 and 12, 13th District, Clayton County, Georgia, and the South boundary line of Land Lot 65, 14th District, Fulton County, Georgia, said Point of Commencement being located North 88 degrees 49 minutes 32 seconds West a distance of 307.92 feet as measured from a concrete monument found at the intersection of said county line and the northwesterly right-of-way of Interstate Highway I-75 (having a varied right-of-way); thence run along the said South boundary line of Land Lot 65 North 88 degrees 49 minutes 32 seconds West a distance of 158.94 feet to an iron pit set, said iron pin set also being THE TRUE POINT OF BEGINNING;

From THE TRUE POINT OF BEGINNING as thus established run North 88 degrees 49 minutes 32 seconds West for a distance of 164.76 feet to an iron pin set; thence run North 00 degrees 51 minutes 50 seconds East for a distance of 103.03 feet to an iron pin set; thence run South 89 degrees 35 minutes 09 seconds East for a distance of 163.93 feet to an iron pin set; thence run South 00 degrees 24 minutes 44 seconds West for a distance of 105.21 feet to an iron pin set, said iron pin set also being THE TRUE POINT OF BEGINNING.

Said property contains 17,111 square feet (0.393 acres)

PORSCHE CARS NORTH AMERICA - REZONING SITE PLAN



SITE DATA

- ① PROPOSED AUTO SERVICE CENTER AND REPAIR: 19,415 SF
PARKING REQUIRED: 3/1000 SF = 57 SPACES
PARKING PROVIDED: 80 SPACES
LOT SIZE: 2.53 ACRES
 - ② EXISTING HOTEL: 214 KEYS
ID #14 0096 LL0627
 - ③ PORSCHE HEADQUARTERS: GREATER THAN 200,000 SF
 - ④ FUTURE DEVELOPMENT
- REQUIRED SIDE, FRONT, AND REAR SETBACKS: ZERO
- TOTAL SITE ACREAGE: 37 ACRES
- CURRENT ZONING: U-V URBAN VILLAGE

